

**WORK SESSION – 6 P.M. RE: BUDGET**  
REGULAR WASECA CITY COUNCIL MEETING  
**CLOSED SESSION PER M.S. 13.D.05 re: purchase or sale of real property**  
TUESDAY, SEPTEMBER 21, 2021 7 p.m.  
AGENDA

- 1 CALL TO ORDER/ROLL CALL
- 2 MOMENT OF SILENCE/PLEDGE OF ALLEGIANCE
- 3 APPROVAL OF AGENDA
- 4 PUBLIC COMMENT

Those wishing to speak must state their name and address for the record. Each person will have three (3) minutes to make his/her remarks. Speakers will address all comments to the City Council as a whole and not one individual councilmember. The Council **may not take action** on an item presented during the Public Comment period. When appropriate, the Council may refer inquiries and items brought up during the Public Comment period to the City Manager for follow up.

- 5 REQUESTS AND PRESENTATIONS  
Southern Minnesota Initiative Foundation
- 6 CONSENT AGENDA
  - A. Minutes –Regular City Council Meeting & Work Session, September 7
  - B. Payroll & Expenditures
  - C. Resolution 21-46: Setting TNT Meeting
  - D. RCCA: Approval of Final Payment – 2021 Crack Seal & Seal Coat Project
  - E. Approval of Contract Payment: Nielson Concrete
  - F. Approval of Memorandum of Understanding with Southwest MN Housing Partnership
- 7 ACTION AGENDA
  - A. Public Hearings
    - Resolution 21-47: Mayo Health Major Subdivision & Rezoning
    - City of Waseca Text Amendments
  - B. Resolution 21-44: Adopting 2022 Preliminary Levy & Proposed Budget
  - C. Resolution 21-45: Adopting 2022 EDA Preliminary Levy
  - D. Ordinance 1093: Annexing City Owned Land
- 8 REPORTS
  - A. City Manager's Report
  - B. Commission Reports
    - EDA (Srp, Mansfield) - Planning Commission (Arndt)
- 9 ANNOUNCEMENTS
- 9B. **CLOSED SESSION PER M.S. 13.D.05 re: purchase or sale of real property**

10. ADJOURNMENT



SOUTHERN MINNESOTA  
INITIATIVE FOUNDATION

525 Florence Avenue • PO Box 695 • Owatonna, MN 55060-0695  
PH 507.455.3215 • FAX 507.455.2098 • [smifoundation.org](http://smifoundation.org)

September 16, 2021

Lee Mattson  
City of Waseca  
508 State St S  
Waseca, MN 56093

Hello Mr. Mattson and City Council,

35 years ago, a devastating farming crisis swept across greater Minnesota. In response, Southern Minnesota Initiative Foundation (SMIF) along with five other regional foundations, were created to provide economic and philanthropic support to the 80 rural counties of Minnesota. 35 years later, we are faced with another crisis threatening the vitality of our region.

Southern Minnesotans have inspired us with their strength and unity in the face of the COVID-19 pandemic. At SMIF, we are proud to have facilitated more than \$12 million in relief to our region through emergency grants, loans and additional support such as professional trainings and one-on-one assistance. We have also continued our \$5 million in annual programming and grantmaking. Below is the impact we made last year in your county:

## *In Waseca County...*



**\$606K** in COVID-19 response funding was distributed to entrepreneurs, child care providers and communities.



**48** early childhood professionals were impacted through grants, trainings and technical assistance.



**68** businesses were impacted through our entrepreneur programming, grantmaking and lending.



For 35 years, SMIF has served the region in times of need. The enclosed fact sheets highlight this work and feature stories from those impacted by your financial gift. Thank you for your gift of \$2,000.00 on 6/3/2020. **Will you consider making a donation to SMIF again in 2022?** With your support, we can continue to invest in our region's early childhood professionals, entrepreneurs and communities.

Sincerely,

Tim Penny  
President & CEO

Collaborating for Regional Vitality





SOUTHERN MINNESOTA  
INITIATIVE FOUNDATION

Collaborating for Regional Vitality

# Waseca County Investments

We envision southern Minnesota as a prosperous and growing region with vibrant communities, innovative and successful economies, and engaged and valued citizens. To achieve this vision, Southern Minnesota Initiative Foundation, a regional development and philanthropic organization, fosters economic and community vitality in 20 counties of southern Minnesota through a culture of collaboration and partnership.

For every donation of  
from Waseca County

\$1

=

\$15

is invested back into  
Waseca County  
communities.\*

\*Includes grants, loans & programming

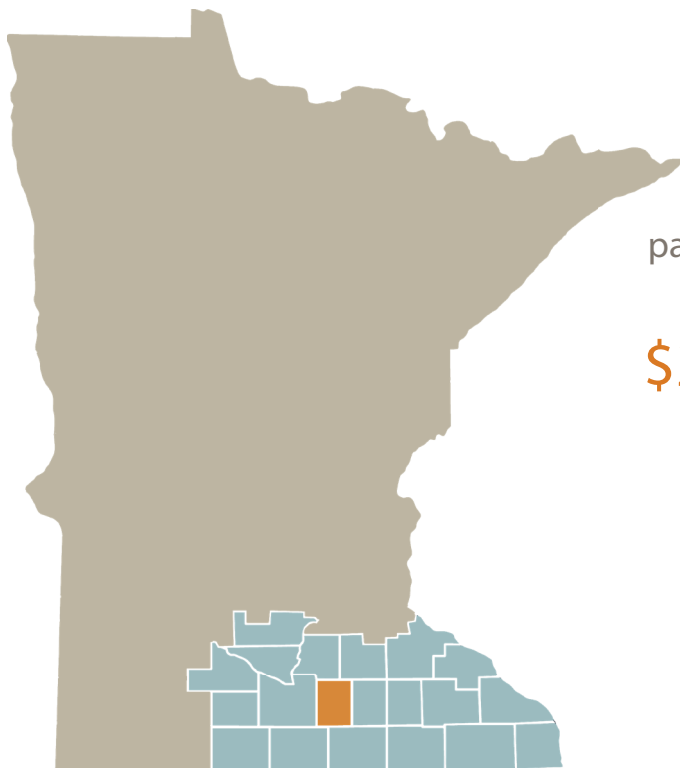
47 LOANS

\$1.6 million to Waseca County entrepreneurs

188 GRANTS

\$1.1 million to support community initiatives

**\$5 million invested annually to the 20 counties of  
south central and southeastern Minnesota**



Since 1986, Southern Minnesota Initiative Foundation has leveraged local investments & partnerships to create a stronger Waseca County:

**\$285,000** in local donations to SMIF

**\$4.3 million**

invested by SMIF in Waseca County  
through grants, loans, and programming for  
stronger kids, businesses and communities



## Loans & Equity Investments\* Supporting local entrepreneurs & creating jobs

Fit Time LLC	Health and Fitness Center
Pleasant Grove Pizza Farm LLC, Waseca	Food and event space
Evan's Eatery LLC, New Richland	Food truck
Trio Coffee, Wine & Ale House LLC, Waseca	Coffee and wine bar
Oscar's All American Food & Drinks LLC	American-style restaurant
Jensen Corporation, New Richland	Construction and home services
Half Pint Brewing Company, Waseca	Brewery and taproom
JR's Barn LLC, Waldorf	Event center
F2 Enterprises LLC, Waseca	Trucking
Stoltz Cleaning Services LLC	Residential, business, and commercial cleaning service

\*SCORE Chapter

## Grants Investments in economic development, early childhood and community vitality

Early Childhood Training 2021	Increasing quality childcare through provider training
Waseca County Public Health	Hundreds of books awarded through literacy grant
Curb Appeal of Southern MN, Waseca	Prosperity Initiative - business training for minority entrepreneurs
BEST of Waseca, Inc.	Entrepreneurial monthly support group
Waseca County Early Childhood Initiative	Incredible Years group helping families considered high risk
Waseca Public Schools Community Education & Recreation	Grant to purchase "Gearing Up for Kindergarten" Curriculum
New Richland Hartland Ellendale Geneva Public Schools	Hundreds of books awarded through multiple literacy grants
Waseca Arts Council Incorporated	Awarded 21 gallons of paint for murals in community areas
Waseca-Le Sueur Regional Library	Grant to provide wireless device and hotspot checkout
Emergency Child Care Grants	14 child care providers/centers received COVID-19 relief dollars
Janesville Waldorf Pemberton School District	Grant to provide a safe learning environment during COVID-19
Small Business Relief Grants	43 businesses received COVID-19 relief grants

## Affiliate Funds Increasing rural philanthropy

Waseca County Disaster Recovery Fund
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## Community Collaborations Bringing communities together for change

Waseca BioBusiness Community Growth Initiative
Waseca Early Childhood Initiative (started in 2010)

### Making a Difference

Responding quickly to help our smallest communities through the pandemic



SMIF's 2021 Small Town Grant program was entirely focused on responding to the needs that have emerged or increased as a result of the pandemic. The program dispersed a total \$192,500 to towns of 10,000 or less in SMIF's region. The Waseca-Le Sueur Regional Library was awarded \$10,000 for technology including internet hotspots for patrons who do not have access to those services but rely on the internet to work from home, do distance learning or have virtual medical visits.

# *Your Gift* ENABLED US TO RESPOND QUICKLY TO THE COVID-19 CRISIS

## TOTAL IMPACT: **MORE THAN \$12 MILLION**



### Community Foundation Relief Grants

SMIF provided \$101,218 in matching grants to 21 of our community foundations to support their localized relief efforts. By leveraging this opportunity, they were able to provide a total of \$121,050 to their communities, impacting more than 56,000 people.

### Emergency Child Care Grants

SMIF provided \$254,950 in immediate financial support to licensed child care providers. 491 family providers and 34 centers were awarded with immediate funds, serving approximately 1,800 children in southern Minnesota.



### Grow a Farmer Assistance Grants

SMIF awarded three organizations \$10,000 each through the Grow a Farmer Assistance Fund. They are working collaboratively to support at least 120 farmers in southern Minnesota through grants that help their businesses respond to new challenges.

### Small Town Grants

SMIF awarded 22 organizations a total of \$192,500 to respond and recover from the hardships created by the crisis and the impact on their communities, all of which have populations of less than 10,000.



### Small Business Relief Grants and Loans

SMIF distributed 1,024 MN DEED Small Business Relief Grants to southern Minnesota businesses for a total of \$10,240,000. The grants support businesses that have experienced financial hardship as a result of the crisis. Additionally, SMIF dispersed 50 MN DEED Small Business Emergency Loans for a total of \$1.2 million.

### Early Care and Education Wrap Around Grants

SMIF approved 28 Early Care and Education Wrap Around Grants totaling \$370,000 in partnership with Minnesota Department of Education. This grant helped fund early care and education wrap around services for children birth to age eight from underserved populations impacted by the pandemic.



## *Learn how you can help!*

To learn more about our **COVID-19 RESPONSE**, and the many partners and donors who have supported these efforts, visit [smifoundation.org/covid-19](https://smifoundation.org/covid-19). Making a gift to SMIF's general endowment supports these response efforts, including expenses related to the administration of these emergency funds and other essential response resources. Visit [smifoundation.org/donate](https://smifoundation.org/donate) to make a gift.

# Your Gift MADE AN IMPACT ON THEIR STORIES

“

In February 2020 when we were jumping-up-and-down-ecstatic to receive a Child Care Expansion Grant through SMIF, we didn't fully understand the true impact it would have on our ability to provide a safe, caring environment for children and families during one of the darkest times of our lives. Not only did the grant allow us to open an additional classroom during the pandemic so the children could learn safely in smaller group sizes, we also received critical support from the dedicated professionals at SMIF. Jeff Andrews helped us work through financial management and planning while John Katz went above and beyond to help us solve issues we were having with our online QuickBooks program. In this time of social distancing, it's this encouragement and generosity that helped our staff remain positive and know that their work was making a true difference in the lives of others. We cannot thank the donors and professionals of Southern Minnesota Initiative Foundation enough for your foresight, dedication and support throughout this pandemic."

**-CHRISTINA VALDEZ, DIRECTOR OF LISTOS PRESCHOOL AND CHILDCARE**



“

I'm so grateful to Southern Minnesota Initiative Foundation for their Grow A Farmer Assistance Grant. We've so far distributed funds to our members for things as diverse as installing internet on their farm, getting drone photography, starting up a tea business, buying COVID safety and health equipment and supplies, setting up an online fiber sale site, and more than that. It's been really interesting to see what the farmers are doing with these funds. We're all really dependent on each other when we're small entrepreneurs like this and the more healthy our local economy is we all do better. We've kind of adopted that model for ourselves, 'We all do better when we all do better.' From everyone in the Cannon River Sustainable Farming Association to Southern Minnesota Initiative Foundation, a big thank you for supporting us in our Cannon Valley Grown Project."

**-GWEN ANDERSON, BOARD SECRETARY OF CANNON RIVER SUSTAINABLE FARMING ASSOCIATION**



“

In April of 2020, Preston Area Community Foundation (PACF) discussed ways to help the local business community at the onset of the pandemic challenges. PACF reached out to the local EDA to develop a grant and loan program for local businesses to use for normal operating expenses. At this same time, SMIF made available a Community Foundation Relief Fund to be used by community foundations to address pandemic issues in their community. PACF reached out to the F & M Community Bank for support to take advantage of the \$5,000 SMIF matching grant and generously, the bank agreed to underwrite the entire \$5,000 PACF contribution. Thanks to SMIF and F & M Community Bank, the EDA loan and grant program funds increased to \$30,000. To date, over \$21,000 has been provided to local businesses with applications still being accepted. Preston area businesses have been so grateful to receive this support during these challenging times. Our community stepped up this year and we are proud of the work PACF accomplished with the help of local organizations and SMIF."

**- CHUCK AUG, BOARD MEMBER OF PRESTON AREA COMMUNITY FOUNDATION**



MINUTES  
REGULAR WASECA CITY COUNCIL MEETING  
TUESDAY, SEPTEMBER 7, 2021

**CALL TO ORDER/ROLL CALL**

1. The regular Waseca City Council meeting was called to order by Mayor Srp at 7:00 p.m.

Councilmembers Present:	Allan Rose	Jeremy Conrath
	Daren Arndt	Ted Conrath
	Mark Christiansen	John Mansfield
	R.D. Srp	

Staff Present:	Lee Mattson, City Manager
	Mike Anderson, Assistant to the City Manager

Others Present:	Donald Hubschman, Resident
	Susan Jirele, Daughters of the American Revolution

**MOMENT OF SILENT PRAYER/PLEDGE OF ALLEGIANCE**

2. A moment of silence was observed. The Pledge of Allegiance to the Flag was recited.

**APPROVAL OF AGENDA**

3. Motion was made by Arndt, seconded by Mansfield to approve the agenda as presented. Motion carried 7-0.

**PUBLIC COMMENT**

4. Mr. Hubschman approached the Council and asked them to be considerate and not rush to decisions when spending local tax dollars.

**REQUESTS AND PRESENTATIONS**

5. Proclamation: Daughters of the American Revolution. Mayor Srp read a proclamation declaring September 17 thru September 24 as Constitution Week in the City of Waseca. Susan Jirele gave out some information to the Council.

**CONSENT AGENDA**

6. It was moved by Rose, seconded by J. Conrath to approve the Consent Agenda as presented. The motion carried 7-0 and included the following items:

- A. Minutes –Regular City Council Meeting & Work Session, August 17 & 31
- B. Payroll & Expenditures
- C. Accepting Joan Mooney and Pete Harty's resignations from their respective boards
- D. Appointing Molly Byron and Tom Sexton to their respective boards
- E. RCCA: Approval of Final Payment – 2021 Street Improvement Project
- F. Resolution 21-43: Setting a Public Hearing for Miscellaneous Assessments
- G. Approval of Garbage Hauler License: West Central Sanitation
- H. Approval of Contract Payment

## **ACTION AGENDA**

7 A. None

## **REPORTS**

### **8 A. City Manager's Report**

- Spire Credit Union has asked for Tax Increment Financing
- Dog Park construction is moving forward
- Gaiter Lake project is moving forward. Working on a Memorandum of Understanding with Southwest MN Housing
- Working on the Purchase Agreement and Water Services Agreement with Conagra

### **B. Commission Reports**

#### Fire Relief

- Had a fish fry raffle

#### HPC

- Welcomed Molly Bryson to the Commission
- Talked about the HPC walking tour

## **ANNOUNCEMENTS**

9. Christiansen:

- Marching Classis is 9/17

#### Srp

- Took a tour of the Spire Credit Union Site

10. Closed Session Per M.S. 13.D.05 re: purchase or sale of real property

The Mayor sent the meeting into closed session at 7:45 p.m. and came out at 8:28 p.m. The City Manager summarized that the Council is ok with him in entering discussions and investigating the purchase of parcel numbers 170202720, 170203150, & 120203110.

## **ADJOURNMENT**

11. There being no further business to be brought before the Council, it was moved by Arndt, seconded by J. Conrath, to adjourn the meeting at 7:23 p.m. Motion carried 5-0.

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R.D. SRP  
MAYOR

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MIKE ANDERSON  
ASSISTANT TO THE CITY MANAGER

MINUTES  
CITY COUNCIL WORK SESSION  
TUESDAY, SEPTEMBER 7, 2021

The work session began at 6:00 p.m.

Councilmembers Present:	Allan Rose	Roy Srp
	John Mansfield	Ted Conrath
	Mark Christiansen	Jeremy Conrath
	Daren Arndt	

Staff Present:	Lee Mattson, City Manager
	Mike Anderson, Assistant to the City Manager
	Alicia Fischer, Finance Director

**General Fund Budget**

Lee Mattson, City Manager, continued discussions from the previous week's work session that included:

- Insurance
- Workers Compensation
- Potential areas to increase or decrease services
- Their own thought about a not to exceed levy number at 4.26

The City Council then brought up some items for discussion that included:

- Community Enhancement funding
- Overtime budgeting
- Downtown flower baskets
- Potential final not to exceed levy number for the 9/21/21 meeting

The City Manager and Finance Director answered questions from the Council. There being no further discussion and no action taken, the work session ended at 6:55 p.m.

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R.D. SRP  
MAYOR

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MIKE ANDERSON  
ASSISTANT TO THE CITY MANAGER



## LIST OF EXPENDITURES

September 7, 2021



City Council	0.00
Streets	28,000.18
Parks	14,919.53
Wastewater	8,841.35
Utility Administration	5,210.92
Utility Billing	7,610.68
Electric	14,203.77
Water	10,935.18
Building and Code Compliance	2,848.88
Police	62,880.99
Administration	7,823.30
Community Aides	0.00
Fire	8,003.19
Paid On Call Fire Department	2,864.10
Election Judges	0.00
Finance	9,363.96
Connections	2,546.33
Community Development	5,520.93
Engineering	16,902.64
Recreation	8,969.23
Econ Development	<u>6,304.55</u>

Total Gross Payroll	223,749.71
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*Less- Payroll Deductions	<u>(66,960.91)</u>
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Net Payroll Cost	\$	156,788.80
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\*These costs are included in Accounts Payable totals below

Accounts Payable

Expenditures dated:

September 3, 2021-September 17, 2021

Includes check #'s 157166-157222

Bank ACH Withdrawals.....	<u>1,174,076.69</u>
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GRAND TOTAL EXPENDITURES	\$	<u>1,330,865.49</u>
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Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount	
<b>General Fund</b>						
09/09/2021	92109	ACH Internal Revenue Service	FEDERAL WITHHOLDING TAX Pay Period: 9/5/2021	101-21701-0000	19,848.24	M
Total 101217010000:					19,848.24	
09/09/2021	92110	MN Department of Revenue	STATE WITHHOLDING TAX Pay Period: 9/5/2021	101-21702-0000	9,413.84	M
Total 101217020000:					9,413.84	
09/09/2021	92109	ACH Internal Revenue Service	SOCIAL SECURITY Pay Period: 9/5/2021	101-21703-0000	8,905.47	M
09/09/2021	92109	ACH Internal Revenue Service	SOCIAL SECURITY Pay Period: 9/5/2021	101-21703-0000	9,325.73	M
Total 101217030000:					18,231.20	
09/09/2021	92111	Public Employees Retirement Assn (ACH	PERA COORD Emplr 1% Pay Period: 9/5/2021	101-21704-0000	1,442.03	M
09/09/2021	92111	Public Employees Retirement Assn (ACH	Adj.	101-21704-0000	.01	M
09/09/2021	92111	Public Employees Retirement Assn (ACH	PERA COORDINATED Employee Pay Period: 9/5/2021	101-21704-0000	9,373.17	M
09/09/2021	92111	Public Employees Retirement Assn (ACH	PERA POLICE Employee Pay Period: 9/5/2021	101-21704-0000	7,751.44	M
09/09/2021	92111	Public Employees Retirement Assn (ACH	PERA COORDINATED Employer Pay Period: 9/5/2021	101-21704-0000	9,373.17	M
09/09/2021	92111	Public Employees Retirement Assn (ACH	PERA POLICE Employer Pay Period: 9/5/2021	101-21704-0000	11,627.16	M
Total 101217040000:					39,566.98	
09/08/2021	157166	IBEW	IBEW UNION DUES Pay Period: 9/5/2021	101-21707-0000	342.73	
09/08/2021	157167	IUOE Local #70	FIRE UNION DUES Pay Period: 9/5/2021	101-21707-0000	150.78	
09/08/2021	157167	IUOE Local #70	IUOE UNION DUES Pay Period: 9/5/2021	101-21707-0000	696.60	
09/08/2021	157168	Law Enforcement Labor Services	POLICE UNION DUES Pay Period: 9/5/2021	101-21707-0000	762.00	
Total 101217070000:					1,952.11	
09/08/2021	92118	MN Life	Arik Sept Cobra	101-21710-0000	26.80-	V
09/08/2021	157169	MN Life	Arik Sept Cobra	101-21710-0000	26.80	
09/09/2021	92118	MN Life	Arik Sept Cobra	101-21710-0000	26.80	M
09/08/2021	92118	MN Life	Carlson Adj.	101-21710-0000	16.50-	V
09/08/2021	157169	MN Life	Carlson Adj.	101-21710-0000	16.50	
09/09/2021	92118	MN Life	Carlson Adj.	101-21710-0000	16.50	M
09/08/2021	92118	MN Life	LIFE INSURANCE MN Pay Period: 9/5/2021	101-21710-0000	732.00-	V
09/08/2021	157169	MN Life	LIFE INSURANCE MN Pay Period: 9/5/2021	101-21710-0000	732.00	
09/09/2021	92118	MN Life	LIFE INSURANCE MN Pay Period: 9/5/2021	101-21710-0000	732.00	M
09/08/2021	92118	MN Life	LIFE INSURANCE MN Pay Period: 9/5/2021	101-21710-0000	1,196.25-	V
09/08/2021	157169	MN Life	LIFE INSURANCE MN Pay Period: 9/5/2021	101-21710-0000	1,196.25	
09/09/2021	92118	MN Life	LIFE INSURANCE MN Pay Period: 9/5/2021	101-21710-0000	1,196.25	M
Total 101217100000:					1,971.55	
09/09/2021	92109	ACH Internal Revenue Service	MEDICARE Pay Period: 9/5/2021	101-21712-0000	2,942.26	M
09/09/2021	92109	ACH Internal Revenue Service	MEDICARE Pay Period: 9/5/2021	101-21712-0000	3,040.55	M
Total 101217120000:					5,982.81	
09/09/2021	92113	MSRS- (DEF COMP)	MSRS - ROTH (AFTER TAX) Pay Period: 9/5/2021	101-21713-0000	1,165.00	M
09/09/2021	92113	MSRS- (DEF COMP)	MSRS - DEF COMP Pay Period: 9/5/2021	101-21713-0000	669.00	M
Total 101217130000:					1,834.00	
09/09/2021	92112	Vantagepoint Transfer Agents 457	ICMA - ROTH (AFTER TAX) Pay Period: 9/5/2021	101-21714-0000	150.00	M



Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount	
09/09/2021	92112	Vantagepoint Transfer Agents 457	ICMA DEF COMPENSATION Pay Period: 9/5/2021	101-21714-0000	495.00	M
Total 101217140000:					645.00	
09/17/2021	92120	Further	FSA Reimbursement	101-21716-0000	19.51	M
09/17/2021	92122	Further	FSA Reimbursement	101-21716-0000	28.62	M
09/09/2021	92117	Further	VEBA Contributions Pay Period: 9/5/2021	101-21716-0000	21,615.14	M
09/09/2021	92117	Further	Timlin Sept Cobra	101-21716-0000	513.17	M
09/09/2021	92117	Further	HSA Contribution Pay Period: 9/5/2021	101-21716-0000	470.18	M
09/09/2021	92117	Further	HSA Contribution Pay Period: 9/5/2021	101-21716-0000	6,246.60	M
Total 101217160000:					28,893.22	
09/09/2021	92114	MN Child Support Payment Center	CHILD SUPPORT FLAT AMT Pay Period: 9/5/2021	101-21717-0000	951.53	M
Total 101217170000:					951.53	
09/09/2021	92115	Delta Dental	Ziemke Sept Cobra	101-21719-0000	29.00	M
09/09/2021	92115	Delta Dental	McKay Sept Cobra	101-21719-0000	29.00	M
09/09/2021	92115	Delta Dental	Rugger Sept Cobra	101-21719-0000	1.14	M
09/09/2021	92115	Delta Dental	DENTAL EE + CHLDRN Pay Period: 9/5/2021	101-21719-0000	157.40	M
09/09/2021	92115	Delta Dental	DENTAL SINGLE Employee Pay Period: 9/5/2021	101-21719-0000	551.00	M
09/09/2021	92115	Delta Dental	DENTAL FAMILY Employee Pay Period: 9/5/2021	101-21719-0000	1,368.00	M
09/09/2021	92115	Delta Dental	DENTAL EE + SPOUSE Pay Period: 9/5/2021	101-21719-0000	356.70	M
09/09/2021	92115	Delta Dental	Rugger Sept Cobra	101-21719-0000	114.00	M
09/09/2021	92115	Delta Dental	Rugger Sept Cobra	101-21719-0000	1.14	M
Total 101217190000:					2,605.10	
09/09/2021	92116	VSP	Carlson Adj.	101-21722-0000	6.77	M
09/09/2021	92116	VSP	VISION FAMILY Employee Pay Period: 9/5/2021	101-21722-0000	169.52	M
09/09/2021	92116	VSP	Rugger Sept Cobra	101-21722-0000	12.23	M
09/09/2021	92116	VSP	Ziemke Sept Cobra	101-21722-0000	6.77	M
09/09/2021	92116	VSP	VISION SINGLE Employee Pay Period: 9/5/2021	101-21722-0000	67.70	M
09/09/2021	92116	VSP	VISION + ONE Employee Pay Period: 9/5/2021	101-21722-0000	85.61	M
Total 101217220000:					348.60	
09/17/2021	157198	Miller, Ryan	Refund of overcharged season pass	101-34714-0000	190.00	
Total 101347140000:					190.00	
09/17/2021	20210646	Christiansen, Mark	2021 Technology reimbursement	101-41110-3200	71.31	
Total 101411103200:					71.31	
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-41320-1340	54.48	M
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-41320-1340	13.19	M
Total 101413201340:					67.67	
09/17/2021	20210655	Innovative Office Supply	Toner-HR Printer	101-41320-2000	129.35	
Total 101413202000:					129.35	
09/17/2021	20210672	U.S. Bank - CC	MCMA Conference Registration-Anderson	101-41320-3300	520.00	

Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount
09/17/2021	20210672	U.S. Bank - CC	Refund for HR Conference	101-41320-3300	400.00-
Total 101413203300:					120.00
09/17/2021	157207	South Central College	Safety Program	101-41320-4940	650.00
Total 101413204940:					650.00
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-41500-1340	75.19 M
Total 101415001340:					75.19
09/17/2021	20210672	U.S. Bank - CC	Lodging for Symposium-Lang-will be refunded	101-41500-3300	109.00
09/17/2021	20210672	U.S. Bank - CC	Lodging for Symposium-Ryan-will be refunded	101-41500-3300	109.00
Total 101415003300:					218.00
09/17/2021	20210651	Flaherty & Hood PA	August Legal Fees	101-41600-3000	40.00
09/17/2021	20210659	Kennedy & Kennedy Law Office	August Legal Services	101-41600-3000	1,377.00
Total 101416003000:					1,417.00
09/17/2021	20210666	Pantheon Computer Systems Inc.	Refund for overcharge on Office 365	101-41920-2050	152.50-
09/17/2021	20210666	Pantheon Computer Systems Inc.	Wireless mouse	101-41920-2050	44.99
Total 101419202050:					107.51-
09/17/2021	20210666	Pantheon Computer Systems Inc.	2021 Maintenance Agreement	101-41920-3100	6,835.50
Total 101419203100:					6,835.50
09/17/2021	157203	Quadient Leasing	Postage Machine	101-41940-2000	435.00
Total 101419402000:					435.00
09/17/2021	157204	Red Feather Paper Company	Kleenex, Towels	101-41940-2170	221.79
09/17/2021	157204	Red Feather Paper Company	Janitorial Supplies	101-41940-2170	296.96
09/17/2021	20210672	U.S. Bank - CC	Credit for chipped breakroom tables and chairs	101-41940-2170	100.00-
Total 101419402170:					418.75
09/17/2021	157177	Bizzy Bee Cleaning LLC	City Hall restroom cleaning	101-41940-3100	475.00
09/17/2021	20210649	Culligan	RO Lease	101-41940-3100	28.95
09/17/2021	157201	Orkin Pest Control	City Hall Pest Control	101-41940-3100	95.00
09/17/2021	20210675	Waste Management of Southern MN	August Service	101-41940-3100	194.92
09/17/2021	20210677	Ziegler Inc	service per Ziegler contract	101-41940-3100	892.70
Total 101419403100:					1,686.57
09/17/2021	20210648	Connors Plumbing & Heating Inc.	plumbing	101-41940-4000	455.00
Total 101419404000:					455.00
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-41950-1340	56.33 M

Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount
Total 101419501340:					56.33
09/17/2021	20210672	U.S. Bank - CC	Batteries	101-41950-2000	10.73
Total 101419502000:					10.73
09/17/2021	20210676	WSB & Associates Inc	General Planning	101-41950-3000	360.00
Total 101419503000:					360.00
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-42100-1340	526.68 M
Total 101421001340:					526.68
09/17/2021	20210655	Innovative Office Supply	Office Supplies - Police	101-42100-2000	87.22
09/17/2021	20210655	Innovative Office Supply	Office Supplies - Police	101-42100-2000	3.90
09/17/2021	20210655	Innovative Office Supply	Office Supplies - Police	101-42100-2000	27.65
09/17/2021	20210672	U.S. Bank - CC	Office Supplies	101-42100-2000	24.16
Total 101421002000:					142.93
09/17/2021	157219	Waseca County Highway Department	Monthly billing	101-42100-2120	2,309.38
09/17/2021	157219	Waseca County Highway Department	Monthly billing	101-42100-2120	10.00
Total 101421002120:					2,319.38
09/17/2021	20210672	U.S. Bank - CC	gloves and evidence bags	101-42100-2170	201.53
09/17/2021	20210672	U.S. Bank - CC	Certified mail-returning stolen goods	101-42100-2170	10.45
09/17/2021	20210672	U.S. Bank - CC	Commendation awards	101-42100-2170	264.00
Total 101421002170:					475.98
09/17/2021	157177	Bizzy Bee Cleaning LLC	Public Safety restroom cleaning	101-42100-3100	237.50
09/17/2021	157179	Bock's Service Inc.	Tow expense -PD	101-42100-3100	75.00
09/17/2021	157182	Cintas Corporation	Floor Mats	101-42100-3100	8.88
09/17/2021	157182	Cintas Corporation	Floor Mats	101-42100-3100	8.87
09/17/2021	157182	Cintas Corporation	Floor Mats	101-42100-3100	8.88
09/17/2021	20210649	Culligan	Culligan Police	101-42100-3100	29.95
09/17/2021	157212	Thomson Reuters - West	Clear expense	101-42100-3100	267.41
09/17/2021	20210675	Waste Management of Southern MN	August Service	101-42100-3100	88.73
Total 101421003100:					725.22
09/17/2021	20210672	U.S. Bank - CC	Lunch for Horn & Bendorf at SFST Training	101-42100-3300	23.57
09/17/2021	20210672	U.S. Bank - CC	Lunch for Horn & Bendorf at SFST Training	101-42100-3300	26.20
09/17/2021	20210672	U.S. Bank - CC	Lunch for Horn & Bendorf at SFST Training	101-42100-3300	24.11
Total 101421003300:					73.88
09/17/2021	20210673	Waseca Hardware LLC	Parts & Supplies	101-42100-4040	1.39
Total 101421004040:					1.39
09/17/2021	20210672	U.S. Bank - CC	Meal during swat training	101-42100-4370	8.62

Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount
Total 101421004370:					8.62
09/17/2021	20210672	U.S. Bank - CC	Chips for night to unite	101-42100-4640	193.72
09/17/2021	20210672	U.S. Bank - CC	Food for night to unite	101-42100-4640	478.09
09/17/2021	20210672	U.S. Bank - CC	Charcoal for night to unite	101-42100-4640	26.72
Total 101421004640:					698.53
09/17/2021	157216	Waseca Clarks Grove Vet Clinic LLP	Vet services	101-42150-3100	142.23
Total 101421503100:					142.23
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-42200-1340	64.21 M
Total 101422001340:					64.21
09/17/2021	20210664	Napa Auto Parts	Parts	101-42200-2120	110.72
09/17/2021	157219	Waseca County Highway Department	Monthly billing	101-42200-2120	378.87
Total 101422002120:					489.59
09/17/2021	157185	Condon Farm Service	Propane	101-42200-2170	16.30
09/17/2021	20210664	Napa Auto Parts	Parts	101-42200-2170	335.86
09/17/2021	157204	Red Feather Paper Company	Janitorial Supplies	101-42200-2170	40.07
09/17/2021	20210672	U.S. Bank - CC	Medical bag to replace ripped one	101-42200-2170	109.99
Total 101422002170:					502.22
09/17/2021	157175	Aspen Mills Inc	Uniform	101-42200-2180	450.65
Total 101422002180:					450.65
09/17/2021	157173	American Test Center Inc.	Aerial Testing	101-42200-2240	575.00
Total 101422002240:					575.00
09/17/2021	157177	Bizzy Bee Cleaning LLC	Public Safety restroom cleaning	101-42200-3100	237.50
09/17/2021	157182	Cintas Corporation	Floor Mats	101-42200-3100	8.87
09/17/2021	157189	Fire Catt LLC	Hose Testing	101-42200-3100	3,016.00
09/17/2021	20210675	Waste Management of Southern MN	August Service	101-42200-3100	88.74
Total 101422003100:					3,351.11
09/17/2021	157180	Centerpoint Energy	Monthly Service	101-42200-3800	15.86
Total 101422003800:					15.86
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-42400-1340	25.31 M
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-42400-1340	7.28 M
Total 101424001340:					32.59
09/17/2021	20210647	City Building Inspection Services LLC	building inpsctions	101-42400-3000	11,051.80
09/17/2021	20210647	City Building Inspection Services LLC	building inpsctions	101-42400-3000	4,500.78

Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount	
Total 101424003000:					15,552.58	
09/17/2021	20210661	Lenz Lawn Care & Landscaping Inc.	Trimming / Debris Removal - 600 5th St SE	101-42400-3100	440.00	
09/17/2021	20210661	Lenz Lawn Care & Landscaping Inc.	Mow/Trim Outlet A	101-42400-3100	25.00	
Total 101424003100:					465.00	
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-43000-1340	7.50	M
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-43000-1340	106.08	M
Total 101430001340:					113.58	
09/17/2021	157171	Amazon	Masks for engineering	101-43000-2000	12.50	
Total 101430002000:					12.50	
09/17/2021	157219	Waseca County Highway Department	Monthly billing	101-43000-2120	142.89	
Total 101430002120:					142.89	
09/17/2021	20210672	U.S. Bank - CC	Flash drives for GIS Info	101-43000-2170	35.93	
09/17/2021	20210673	Waseca Hardware LLC	Parts & Supplies	101-43000-2170	17.48	
Total 101430002170:					53.41	
09/09/2021	92109	ACH Internal Revenue Service	SOCIAL SECURITY Pay Period: 9/5/2021	101-43100-1030	50.83	M
09/09/2021	92109	ACH Internal Revenue Service	MEDICARE Pay Period: 9/5/2021	101-43100-1030	11.89	M
Total 101431001030:					62.72	
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-43100-1340	102.26	M
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-43100-1340	2.31	M
Total 101431001340:					104.57	
09/17/2021	20210672	U.S. Bank - CC	Printer cable & Ink	101-43100-2000	123.85	
Total 101431002000:					123.85	
09/17/2021	20210653	H & J Fuel Inc	Fuel	101-43100-2120	2,394.09	
09/17/2021	157219	Waseca County Highway Department	Monthly billing	101-43100-2120	4,436.91	
09/17/2021	157219	Waseca County Highway Department	Monthly billing	101-43100-2120	15.00	
09/17/2021	157219	Waseca County Highway Department	Monthly billing	101-43100-2120	339.44	
Total 101431002120:					7,185.44	
09/17/2021	157183	Cintas Corporation	First Aid Cabinet supplies	101-43100-2170	85.31	
09/17/2021	157185	Condon Farm Service	propane	101-43100-2170	16.30	
09/17/2021	20210664	Napa Auto Parts	Parts	101-43100-2170	22.00	
09/17/2021	20210673	Waseca Hardware LLC	Parts & Supplies	101-43100-2170	20.97	
Total 101431002170:					144.58	
09/17/2021	157215	W W Blacktopping Inc.	Hot Mix	101-43100-2171	29,041.88	
09/17/2021	20210674	Waseca Sand & Gravel Inc.	Curb Repair	101-43100-2171	489.00	

Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount
Total 101431002171:					29,530.88
09/17/2021	157174	Aramark Uniform Services	Uniform service	101-43100-2180	187.65
09/17/2021	157174	Aramark Uniform Services	Uniforms	101-43100-2180	186.78
Total 101431002180:					374.43
09/17/2021	157182	Cintas Corporation	Rugs	101-43100-3100	45.60
09/17/2021	20210675	Waste Management of Southern MN	August Service	101-43100-3100	178.37
09/17/2021	20210677	Ziegler Inc	service per ziegler contract	101-43100-3100	957.70
Total 101431003100:					1,181.67
09/17/2021	157180	Centerpoint Energy	Monthly Service	101-43100-3800	15.85
Total 101431003800:					15.85
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-43125-1340	26.51 M
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-43125-1340	2.31 M
Total 101431251340:					28.82
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-43170-1340	5.68 M
Total 101431701340:					5.68
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-43220-1340	9.47 M
Total 101432201340:					9.47
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-45130-1340	15.63 M
Total 101451301340:					15.63
09/17/2021	157219	Waseca County Highway Department	Monthly billing	101-45130-2120	58.89
Total 101451302120:					58.89
09/17/2021	20210654	Horizon Commercial Pool Supply	chemical	101-45130-2165	95.00
09/17/2021	20210673	Waseca Hardware LLC	Parts & Supplies	101-45130-2165	19.99
Total 101451302165:					114.99
09/17/2021	20210672	U.S. Bank - CC	Refunded fraud charges	101-45130-2170	14.99-
09/17/2021	20210672	U.S. Bank - CC	Sun block	101-45130-2170	13.96
Total 101451302170:					1.03-
09/17/2021	20210672	U.S. Bank - CC	Fly traps	101-45130-2175	3.92
Total 101451302175:					3.92
09/17/2021	20210649	Culligan	Parts	101-45130-2210	246.08
09/17/2021	20210664	Napa Auto Parts	Parts	101-45130-2210	16.10
09/17/2021	20210673	Waseca Hardware LLC	Parts & Supplies	101-45130-2210	31.95

Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount
Total 101451302210:					294.13
09/17/2021	20210672	U.S. Bank - CC	3-Birthday Party Cake-Water Park	101-45130-2500	90.16
09/17/2021	20210672	U.S. Bank - CC	Birthday Party Cake-Water Park	101-45130-2500	30.05
Total 101451302500:					120.21
09/17/2021	157172	American Red Cross-Training Services	Lifeguard Certification	101-45130-3000	120.00
09/17/2021	20210649	Culligan	Labor	101-45130-3000	547.60
Total 101451303000:					667.60
09/17/2021	157199	MK Service & Repair	Scrubber Repair	101-45130-3100	50.00
09/17/2021	20210675	Waste Management of Southern MN	Garbage Services	101-45130-3100	192.86
Total 101451303100:					242.86
09/17/2021	20210649	Culligan	Salt	101-45130-4000	170.00
Total 101451304000:					170.00
09/17/2021	20210672	U.S. Bank - CC	Hot dogs and buns for TLCF	101-45180-2500	19.32
Total 101451802500:					19.32
09/17/2021	20210675	Waste Management of Southern MN	TLCF - August Waste Management Service	101-45180-3100	34.41
Total 101451803100:					34.41
09/17/2021	92123	Mediacom	TLCF Communications	101-45180-3200	229.68 M
Total 101451803200:					229.68
09/17/2021	157220	Waseca County Landfill	Top Soil - Compost TLCF	101-45180-4000	320.75
Total 101451804000:					320.75
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-45200-1340	94.50 M
09/09/2021	92119	Reliance Standard	September LTD Insurance	101-45200-1340	3.91 M
Total 101452001340:					98.41
09/17/2021	157219	Waseca County Highway Department	Monthly billing	101-45200-2120	851.72
Total 101452002120:					851.72
09/17/2021	20210649	Culligan	Parks Dept Water	101-45200-2170	37.00
09/17/2021	157204	Red Feather Paper Company	Janitorial Supplies	101-45200-2170	217.20
09/17/2021	157220	Waseca County Landfill	Top Soil - Compost	101-45200-2170	307.75
09/17/2021	157220	Waseca County Landfill	Top Soil - Compost	101-45200-2170	305.50
09/17/2021	157220	Waseca County Landfill	Top Soil - Compost	101-45200-2170	327.25
09/17/2021	20210673	Waseca Hardware LLC	Parts & Supplies	101-45200-2170	119.46
Total 101452002170:					1,314.16

Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount
09/17/2021	157188	Ferguson Enterprises Inc	Plumbing Supplies	101-45200-2230	64.93
09/17/2021	20210673	Waseca Hardware LLC	Parts & Supplies	101-45200-2230	64.92
Total 101452002230:					129.85
09/17/2021	20210673	Waseca Hardware LLC	Parts & Supplies	101-45200-2400	37.98
Total 101452002400:					37.98
09/17/2021	20210657	Jobs Plus Inc.	City Parks - August Jobs Plus	101-45200-3100	1,524.47
09/17/2021	157205	Sam Bartelt Tree Service & Snow Remov	Stump Removal	101-45200-3100	827.50
09/17/2021	20210675	Waste Management of Southern MN	August Service	101-45200-3100	27.85
09/17/2021	20210675	Waste Management of Southern MN	Parks - August Waste Management Service	101-45200-3100	1,360.11
Total 101452003100:					3,739.93
09/17/2021	20210672	U.S. Bank - CC	Pesticide Recertification	101-45200-3300	290.00
Total 101452003300:					290.00
09/17/2021	20210649	Culligan	Culligan	101-45500-3100	16.42
09/17/2021	157201	Orkin Pest Control	Library-Pest control	101-45500-3100	70.00
09/17/2021	157206	ServiceMaster by Ayotte	Library service	101-45500-3100	790.00
09/17/2021	20210675	Waste Management of Southern MN	Library service	101-45500-3100	56.73
Total 101455003100:					933.15
Total General Fund:					220,723.62
<b>Airport</b>					
09/17/2021	20210673	Waseca Hardware LLC	Parts & Supplies	230-49810-2170	12.44
Total 230498102170:					12.44
09/17/2021	157222	Xcel Energy	August Service	230-49810-3800	154.71
09/17/2021	157222	Xcel Energy	August Service	230-49810-3800	302.22
Total 230498103800:					456.93
09/17/2021	20210672	U.S. Bank - CC	Flag pole for airport	230-49810-4000	2,050.00
Total 230498104000:					2,050.00
Total Airport:					2,519.37
<b>Recovery Coordinator Grant</b>					
09/09/2021	92119	Reliance Standard	September LTD Insurance	256-46500-1340	29.61 M
Total 256465001340:					29.61
Total Recovery Coordinator Grant:					29.61
<b>Economic Development-General f</b>					
09/09/2021	92119	Reliance Standard	September LTD Insurance	261-46700-1340	13.20 M



Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount
Total 261467001340:					13.20
09/17/2021	20210672	U.S. Bank - CC	Greenseam Baseball Event Ticket	261-46700-3300	50.00
Total 261467003300:					50.00
Total Economic Development-General f:					63.20
<b>Safe Haven Grant</b>					
09/09/2021	92119	Reliance Standard	September LTD Insurance	279-46350-1340	18.05 M
Total 279463501340:					18.05
09/17/2021	20210672	U.S. Bank - CC	Dechoker device for Connections	279-46350-2170	49.95
Total 279463502170:					49.95
Total Safe Haven Grant:					68.00
<b>PEG Channel</b>					
09/17/2021	157171	Amazon	Masks for peg	290-41920-2170	12.50
09/17/2021	20210673	Waseca Hardware LLC	Parts & Supplies	290-41920-2170	29.99
Total 290419202170:					42.49
Total PEG Channel:					42.49
<b>Capital Improvement</b>					
09/17/2021	20210654	Horizon Commercial Pool Supply	Chemical Equipment Deposit	430-43010-5260	4,708.88
Total 430430105260:					4,708.88
09/17/2021	20210672	U.S. Bank - CC	Lumber for Southview park picnic shelter	430-43010-5320	381.31
09/17/2021	20210672	U.S. Bank - CC	Dog park hydrant	430-43010-5320	139.99
09/17/2021	20210672	U.S. Bank - CC	Dog park hydrant-will be returning purchased wrong size	430-43010-5320	169.99
09/17/2021	157220	Waseca County Landfill	Dog Park Top Soil	430-43010-5320	290.25
09/17/2021	157220	Waseca County Landfill	Dog Park Top Soil	430-43010-5320	270.00
09/17/2021	157220	Waseca County Landfill	Dog Park Top Soil	430-43010-5320	270.75
09/17/2021	157220	Waseca County Landfill	Dog Park Top Soil	430-43010-5320	272.00
09/17/2021	157220	Waseca County Landfill	Dog Park Top Soil	430-43010-5320	237.75
Total 430430105320:					2,032.04
09/17/2021	20210642	American Engineering Testing Inc	Field and Material Testing	430-43010-5430	2,673.50
09/17/2021	157209	Stantec Consulting Services Inc	Safe Routes to School Engineering Services	430-43010-5430	3,031.58
Total 430430105430:					5,705.08
09/17/2021	157209	Stantec Consulting Services Inc	Clear Lake Park Improvements Design	430-43010-5435	14,424.65
Total 430430105435:					14,424.65
09/17/2021	157209	Stantec Consulting Services Inc	Clear Lake Park Collector Trail Design	430-43010-5440	8,395.00

Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount
Total 430430105440:					8,395.00
09/17/2021	20210642	American Engineering Testing Inc	2021-04 Materials Testing	430-43010-5460	150.00
09/17/2021	20210665	Nielsen Concrete LLC	2021 Sidewalk Partial Payment No. One	430-43010-5460	37,936.97
Total 430430105460:					38,086.97
09/17/2021	20210642	American Engineering Testing Inc	2021-01 Materials Testing	430-43010-5560	630.00
09/17/2021	157209	Stantec Consulting Services Inc	Engineering Services 8th St SE	430-43010-5560	16,955.15
Total 430430105560:					17,585.15
Total Capital Improvement:					90,937.77
<b>Annexation &amp; Growth fund</b>					
09/17/2021	20210651	Flaherty & Hood PA	August Legal Fees	470-46800-3000	813.75
Total 470468003000:					813.75
Total Annexation & Growth fund:					813.75
<b>Water</b>					
09/17/2021	157222	Xcel Energy	August Service	601-49401-3800	161.44
Total 601494013800:					161.44
09/09/2021	92109	ACH Internal Revenue Service	SOCIAL SECURITY Pay Period: 9/5/2021	601-49430-0000	369.43 M
09/09/2021	92109	ACH Internal Revenue Service	MEDICARE Pay Period: 9/5/2021	601-49430-0000	86.40 M
Total 601494300000:					455.83
09/09/2021	92119	Reliance Standard	September LTD Insurance	601-49430-1340	26.96 M
09/09/2021	92119	Reliance Standard	September LTD Insurance	601-49430-1340	27.31 M
Total 601494301340:					54.27
09/17/2021	157219	Waseca County Highway Department	Monthly billing	601-49430-2120	755.19
Total 601494302120:					755.19
09/17/2021	20210672	U.S. Bank - CC	New phone charger	601-49430-2170	24.88
09/17/2021	20210673	Waseca Hardware LLC	Parts & Supplies	601-49430-2170	7.99
Total 601494302170:					32.87
09/17/2021	157174	Aramark Uniform Services	uniform	601-49430-2180	17.83
09/17/2021	157174	Aramark Uniform Services	uniforms	601-49430-2180	17.83
Total 601494302180:					35.66
09/17/2021	157215	W W Blacktopping Inc.	Water Main Repair	601-49430-2230	792.35
Total 601494302230:					792.35
09/17/2021	20210652	Gopher State One-Call Inc	Location calls - August	601-49430-3100	63.00

Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount
09/17/2021	20210661	Lenz Lawn Care & Landscaping Inc.	Weed spraying	601-49430-3100	55.00
09/17/2021	157208	Sportsman Stop	Shipping	601-49430-3100	11.39
09/17/2021	157214	Utility Consultants Inc	Coliform Testing	601-49430-3100	180.00
Total 601494303100:					309.39
09/17/2021	157203	Quadient Leasing	Folding Machine	601-49585-3100	575.00
Total 601495853100:					575.00
09/17/2021	20210663	MAS Communications Inc.	Answering service - September	601-49585-3200	52.99
Total 601495853200:					52.99
09/17/2021	20210672	U.S. Bank - CC	Virtual Symposium Classes	601-49585-3300	20.00
Total 601495853300:					20.00
09/17/2021	157184	City of Waseca	Summit AR	601-49585-4320	13.60
09/17/2021	157210	Summit Account Resolution	Collection Fees	601-49585-4320	194.61
Total 601495854320:					208.21
09/09/2021	92119	Reliance Standard	September LTD Insurance	601-49586-1340	5.16 M
09/09/2021	92119	Reliance Standard	September LTD Insurance	601-49586-1340	2.94 M
09/09/2021	92119	Reliance Standard	September LTD Insurance	601-49586-1340	14.22 M
Total 601495861340:					22.32
09/17/2021	20210651	Flaherty & Hood PA	August Legal Fees	601-49586-3000	152.50
Total 601495863000:					152.50
09/17/2021	20210666	Pantheon Computer Systems Inc.	2021 Maintenance Agreement	601-49586-4950	976.50
Total 601495864950:					976.50
09/17/2021	20210642	American Engineering Testing Inc	2021-07 Materials Testing	601-49593-5300	315.00
09/17/2021	157188	Ferguson Enterprises Inc	South State Watermain Phase 2	601-49593-5300	4,270.91
09/17/2021	157209	Stantec Consulting Services Inc	West Interchange Utilities Plan	601-49593-5300	315.75
09/17/2021	157209	Stantec Consulting Services Inc	Brown Ave water main inspection	601-49593-5300	54,253.59
09/17/2021	157209	Stantec Consulting Services Inc	North State Street Water Main Design	601-49593-5300	4,728.90
09/17/2021	157209	Stantec Consulting Services Inc	West Interchange Utilities Plan	601-49593-5300	429.00
Total 601495935300:					64,313.15
Total Water:					68,917.67
<b>Sanitary Sewer</b>					
09/09/2021	92119	Reliance Standard	September LTD Insurance	602-49470-1340	34.08 M
09/09/2021	92119	Reliance Standard	September LTD Insurance	602-49470-1340	2.31 M
Total 602494701340:					36.39
09/17/2021	157209	Stantec Consulting Services Inc	Design Review 8th Ave NE	602-49470-3000	378.00
09/17/2021	157209	Stantec Consulting Services Inc	Malterer Property Development	602-49470-3000	378.00

Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount
Total 602494703000:					756.00
09/17/2021	20210652	Gopher State One-Call Inc	Location calls - August	602-49470-3100	63.00
09/17/2021	20210677	Ziegler Inc	service per Ziegler contract	602-49470-3100	714.67
09/17/2021	20210677	Ziegler Inc	service per Ziegler contract	602-49470-3100	719.04
09/17/2021	20210677	Ziegler Inc	service per Ziegler contract	602-49470-3100	719.04
Total 602494703100:					2,215.75
09/09/2021	92119	Reliance Standard	September LTD Insurance	602-49480-1340	80.89 M
Total 602494801340:					80.89
09/17/2021	20210672	U.S. Bank - CC	County pumps down	602-49480-2120	41.37
09/17/2021	157219	Waseca County Highway Department	Monthly billing	602-49480-2120	46.66
Total 602494802120:					88.03
09/17/2021	157190	Hawkins Inc	Chlorine & Sulfur	602-49480-2170	2,649.60
09/17/2021	20210672	U.S. Bank - CC	Ice for coolers-wet test	602-49480-2170	12.45
09/17/2021	157213	USA Blue Book	Lab Supplies	602-49480-2170	473.25
09/17/2021	20210673	Waseca Hardware LLC	Parts & Supplies	602-49480-2170	113.88
Total 602494802170:					3,249.18
09/17/2021	20210672	U.S. Bank - CC	Uniform Allowance	602-49480-2180	59.98
Total 602494802180:					59.98
09/17/2021	20210673	Waseca Hardware LLC	Parts & Supplies	602-49480-2210	311.94
Total 602494802210:					311.94
09/17/2021	157209	Stantec Consulting Services Inc	NPDES Permit Review	602-49480-3000	1,306.25
Total 602494803000:					1,306.25
09/17/2021	157178	BME Labstore	Lab Calibrations	602-49480-3100	950.00
09/17/2021	157182	Cintas Corporation	Janitorial Supplies	602-49480-3100	19.10
09/17/2021	157187	Environmental Toxicity Control Inc	Special Permit Testing	602-49480-3100	1,350.00
09/17/2021	20210661	Lenz Lawn Care & Landscaping Inc.	Weed spraying	602-49480-3100	65.00
09/17/2021	20210662	M & R Electric Inc.	Electrician	602-49480-3100	88.00
09/17/2021	157214	Utility Consultants Inc	Permit Testing	602-49480-3100	2,476.36
09/17/2021	20210675	Waste Management of Southern MN	Waste Mgmt	602-49480-3100	344.42
Total 602494803100:					5,292.88
09/17/2021	20210672	U.S. Bank - CC	License renewal class-MPCA	602-49480-3300	130.00
09/17/2021	20210672	U.S. Bank - CC	License renewal class-MPCA	602-49480-3300	3.24
09/17/2021	20210672	U.S. Bank - CC	Meal while at MWOA Conference	602-49480-3300	16.35
09/17/2021	20210672	U.S. Bank - CC	Meal while at MWOA Conference	602-49480-3300	22.27
09/17/2021	20210672	U.S. Bank - CC	Lodging while at MWOA Conference	602-49480-3300	346.11
Total 602494803300:					517.97

Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount	
09/09/2021	92119	Reliance Standard	September LTD Insurance	602-49585-1340	21.36	M
09/09/2021	92119	Reliance Standard	September LTD Insurance	602-49585-1340	21.36	M
Total 602495851340:					42.72	
09/17/2021	157203	Quadient Leasing	Folding Machine	602-49585-3100	575.00	
Total 602495853100:					575.00	
09/17/2021	20210663	MAS Communications Inc.	Answering service - September	602-49585-3200	52.99	
Total 602495853200:					52.99	
09/17/2021	157184	City of Waseca	Summit AR	602-49585-4320	26.06	
09/17/2021	157210	Summit Account Resolution	Collection Fees	602-49585-4320	373.00	
Total 602495854320:					399.06	
09/09/2021	92119	Reliance Standard	September LTD Insurance	602-49586-1340	5.16	M
09/09/2021	92119	Reliance Standard	September LTD Insurance	602-49586-1340	2.94	M
09/09/2021	92119	Reliance Standard	September LTD Insurance	602-49586-1340	14.22	M
Total 602495861340:					22.32	
09/17/2021	20210651	Flaherty & Hood PA	August Legal Fees	602-49586-3000	353.75	
09/17/2021	20210651	Flaherty & Hood PA	August Labor and Employment services	602-49586-3000	38.75	
Total 602495863000:					392.50	
09/17/2021	20210672	U.S. Bank - CC	License renewal class-MPCA	602-49586-3300	130.00	
09/17/2021	20210672	U.S. Bank - CC	License renewal class-MPCA	602-49586-3300	3.24	
Total 602495863300:					133.24	
09/17/2021	20210666	Pantheon Computer Systems Inc.	2021 Maintenance Agreement	602-49586-4950	976.50	
Total 602495864950:					976.50	
09/17/2021	157209	Stantec Consulting Services Inc	West Interchange Utilities Plan	602-49593-5300	547.00	
09/17/2021	157209	Stantec Consulting Services Inc	conagra Lagoon Access	602-49593-5300	5,134.00	
09/17/2021	157209	Stantec Consulting Services Inc	SE Sewer Evaluation	602-49593-5300	7,499.75	
09/17/2021	157209	Stantec Consulting Services Inc	Phase 1 I&I Project	602-49593-5300	1,278.09	
Total 602495935300:					14,458.84	
Total Sanitary Sewer:					30,968.43	
<b>Electric Utility</b>						
09/17/2021	92121	SMMPA	SMMPA Power	604-49550-3810	506,315.58	M
Total 604495503810:					506,315.58	
09/09/2021	92119	Reliance Standard	September LTD Insurance	604-49570-1340	3.51	M
Total 604495701340:					3.51	

Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount
09/17/2021	20210672	U.S. Bank - CC	Disposal bags	604-49570-2170	122.93
Total 604495702170:					122.93
09/17/2021	157176	B & B Transformer Inc	Oil Testing	604-49570-2230	45.00
Total 604495702230:					45.00
09/17/2021	157170	Alternative Technologies Inc	PCB Oil Test Regulators	604-49570-4000	60.00
09/17/2021	157176	B & B Transformer Inc	Regulator Repairs	604-49570-4000	6,526.00
Total 604495704000:					6,586.00
09/09/2021	92119	Reliance Standard	September LTD Insurance	604-49571-1340	77.35 M
Total 604495711340:					77.35
09/17/2021	20210672	U.S. Bank - CC	County pumps down-gas for unit 30	604-49571-2120	76.53
09/17/2021	157219	Waseca County Highway Department	Monthly billing	604-49571-2120	441.62
Total 604495712120:					518.15
09/17/2021	20210643	Border States Electric Supply	Cable Marker	604-49571-2170	65.68
09/17/2021	20210670	Total Tool Supply Inc.	Tools	604-49571-2170	208.16
09/17/2021	20210673	Waseca Hardware LLC	Parts & Supplies	604-49571-2170	135.58
Total 604495712170:					409.42
09/17/2021	20210641	Amaril Uniform Co.	Uniforms	604-49571-2180	253.24
Total 604495712180:					253.24
09/17/2021	157193	Lake Shore Inn Nursing Home Inc.	Energy Management Program	604-49571-2320	275.00
09/17/2021	157194	Latham Place	Energy Management Program	604-49571-2320	122.50
09/17/2021	157217	Waseca County Community Services	Energy Management Program	604-49571-2320	175.00
09/17/2021	157218	Waseca County Courthouse	Energy Management Program	604-49571-2320	450.00
09/17/2021	157219	Waseca County Highway Department	Energy Management Program	604-49571-2320	100.00
Total 604495712320:					1,122.50
09/17/2021	20210664	Napa Auto Parts	Parts	604-49571-2400	101.80
Total 604495712400:					101.80
09/17/2021	157173	American Test Center Inc.	Annual inspection by ATC	604-49571-3100	1,125.00
09/17/2021	20210652	Gopher State One-Call Inc	Location calls - August	604-49571-3100	63.00
09/17/2021	20210661	Lenz Lawn Care & Landscaping Inc.	Weed spraying	604-49571-3100	65.00
09/17/2021	157208	Sportsman Stop	Shipping	604-49571-3100	35.98
Total 604495713100:					1,288.98
09/09/2021	92119	Reliance Standard	September LTD Insurance	604-49572-1340	7.78 M
Total 604495721340:					7.78
09/09/2021	92119	Reliance Standard	September LTD Insurance	604-49573-1340	14.02 M

Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount
Total 604495731340:					14.02
09/17/2021	20210643	Border States Electric Supply	supplies	604-49573-2170	134.29
Total 604495732170:					134.29
09/17/2021	20210658	JT Services of MN	secondary pedestal connectors	604-49573-2230	354.01
Total 604495732230:					354.01
09/17/2021	20210667	Sanco Equipment LLC	kubota forks	604-49573-4000	835.00
Total 604495734000:					835.00
09/09/2021	92119	Reliance Standard	September LTD Insurance	604-49574-1340	3.94 M
Total 604495741340:					3.94
09/17/2021	20210658	JT Services of MN	street light bulbs	604-49574-2230	353.20
Total 604495742230:					353.20
09/17/2021	157222	Xcel Energy	August Service	604-49574-3800	491.20
Total 604495743800:					491.20
09/09/2021	92119	Reliance Standard	September LTD Insurance	604-49584-1340	2.96 M
Total 604495841340:					2.96
09/09/2021	92119	Reliance Standard	September LTD Insurance	604-49585-1340	21.51 M
Total 604495851340:					21.51
09/17/2021	157203	Quadient Leasing	Folding Machine	604-49585-3100	575.00
Total 604495853100:					575.00
09/17/2021	20210663	MAS Communications Inc.	Answering service - September	604-49585-3200	52.98
Total 604495853200:					52.98
09/17/2021	20210672	U.S. Bank - CC	Virtual Symposium Classes	604-49585-3300	20.00
Total 604495853300:					20.00
09/17/2021	157184	City of Waseca	Summit AR	604-49585-4320	73.65
09/17/2021	157210	Summit Account Resolution	Collection Fees	604-49585-4320	1,054.15
Total 604495854320:					1,127.80
09/09/2021	92119	Reliance Standard	September LTD Insurance	604-49586-1340	4.17 M
09/09/2021	92119	Reliance Standard	September LTD Insurance	604-49586-1340	5.63 M
09/09/2021	92119	Reliance Standard	September LTD Insurance	604-49586-1340	14.65 M

Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount
Total 604495861340:					24.45
09/17/2021	157197	McGrann Shea Carnival Straughn & Lam	Attorney - Service Territory	604-49586-3000	129.50
Total 604495863000:					129.50
09/17/2021	157200	MN Department of Commerce	Department of Commerce Assessment	604-49586-4330	1,408.59
Total 604495864330:					1,408.59
09/17/2021	20210666	Pantheon Computer Systems Inc.	2021 Maintenance Agreement	604-49586-4950	976.50
Total 604495864950:					976.50
09/17/2021	20210643	Border States Electric Supply	conversion supplies	604-49593-5300	249.32
09/17/2021	20210643	Border States Electric Supply	conversion supplies	604-49593-5300	209.04
09/17/2021	20210643	Border States Electric Supply	Conversion Supplies	604-49593-5300	29.56
Total 604495935300:					487.92
09/17/2021	20210668	Stuart C. Irby Company	Switchgear @ Corchrans	604-49593-5400	19,900.00
09/17/2021	20210669	T & R Electric Inc.	3 - KVA 37 Single Phase Pad Mount	604-49593-5400	21,785.40
Total 604495935400:					41,685.40
Total Electric Utility:					565,550.51
<b>Storm Water Utility</b>					
09/09/2021	92119	Reliance Standard	September LTD Insurance	651-43140-1340	11.36 M
Total 651431401340:					11.36
09/17/2021	20210656	James Brothers Construction Inc.	Tile rock	651-43140-4000	190.89
Total 651431404000:					190.89
09/09/2021	92119	Reliance Standard	September LTD Insurance	651-49585-1340	3.38 M
Total 651495851340:					3.38
Total Storm Water Utility:					205.63
<b>Central Garage Services</b>					
09/09/2021	92119	Reliance Standard	September LTD Insurance	701-43180-1340	39.19 M
Total 701431801340:					39.19
09/17/2021	157219	Waseca County Highway Department	Monthly billing	701-43180-2120	249.27
Total 701431802120:					249.27
09/17/2021	157191	Huber Supply Co Inc	tank rental	701-43180-2170	12.69
09/17/2021	20210673	Waseca Hardware LLC	Parts & Supplies	701-43180-2170	22.48



Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount
Total 701431802170:					35.17
09/17/2021	20210644	Boss Supply Inc.	fitting for water/brine tank	701-43180-2210	4.31
09/17/2021	157181	Chicos Auto Repair LLC	aluminum pipe-ring o matic	701-43180-2210	72.82
09/17/2021	20210645	Christensen Tire Service	124-20 flat repair	701-43180-2210	46.80
09/17/2021	20210645	Christensen Tire Service	Tire Repair	701-43180-2210	71.52
09/17/2021	157186	Deml Ford Lincoln Mercury Inc	# 65 tranny sensor	701-43180-2210	66.94
09/17/2021	157186	Deml Ford Lincoln Mercury Inc	return part for credit	701-43180-2210	47.67-
09/17/2021	157192	Janesville Tire Service	# 21 front tire rotate and ballance	701-43180-2210	60.00
09/17/2021	20210664	Napa Auto Parts	Parts	701-43180-2210	694.76
09/17/2021	157202	PowerPlan - RDO Equipment Co.	JD loader brake pedal assem	701-43180-2210	974.11
09/17/2021	157202	PowerPlan - RDO Equipment Co.	JD loader seat parts	701-43180-2210	461.20
09/17/2021	157202	PowerPlan - RDO Equipment Co.	left brake/ hydraulic actuator	701-43180-2210	549.36
09/17/2021	20210667	Sanco Equipment LLC	Coupler and arm extend	701-43180-2210	584.17
09/17/2021	20210667	Sanco Equipment LLC	glass door	701-43180-2210	279.29
09/17/2021	157211	Tenco Inc	RPM carbide shoes	701-43180-2210	527.88
09/17/2021	20210671	Truck Center Companies	#24 repairs	701-43180-2210	1,043.33
09/17/2021	20210671	Truck Center Companies	EGR valve and core chrg	701-43180-2210	542.41
09/17/2021	20210672	U.S. Bank - CC	Umbrella Parts for waterpark umbrella	701-43180-2210	1,154.00
09/17/2021	20210672	U.S. Bank - CC	#64 gauge cluster repair	701-43180-2210	175.00
Total 701431802210:					7,260.23
09/17/2021	20210664	Napa Auto Parts	Parts	701-43180-2400	77.77
09/17/2021	157208	Sportsman Stop	Shipping	701-43180-2400	11.21
09/17/2021	20210670	Total Tool Supply Inc.	compact air hammer	701-43180-2400	91.98
09/17/2021	20210670	Total Tool Supply Inc.	12 volt batteries	701-43180-2400	144.84
09/17/2021	20210673	Waseca Hardware LLC	Parts & Supplies	701-43180-2400	189.98
Total 701431802400:					515.78
09/17/2021	20210672	U.S. Bank - CC	Monthly diagnostic tool fee	701-43180-3100	149.00
Total 701431803100:					149.00
Total Central Garage Services:					8,248.64
<b>Property and Liability Insuran</b>					
09/17/2021	20210650	First National Insurance	September Agency Fee	702-49955-3000	800.00
Total 702499553000:					800.00
09/17/2021	157195	League of MN Cities Insurance Trust	#111335-basketball hoop	702-49955-3630	125.00
Total 702499553630:					125.00
Total Property and Liability Insuran:					925.00
<b>Equipment Replacement Fund</b>					
09/17/2021	20210660	L & L Street Rod & Sports Truck LLC	new squad expense- # 2158	705-49920-5400	2,719.00
09/17/2021	157221	WatchGuard Video	New Squad expense	705-49920-5400	165.00
Total 705499205400:					2,884.00
09/17/2021	157196	MacQueen Equipment Inc.	Snow Blower	705-49950-5400	181,179.00

Check Issue Date	Check Number	Payee	Description	Invoice GL Account	Check Amount
Total 705499505400:					181,179.00
Total Equipment Replacement Fund:					184,063.00
Grand Totals:					1,174,076.69

## Report Criteria:

Report type: GL detail

[Report].Amount = {&lt;&gt;} 0

**RESOLUTION NO. 21-46**

**A RESOLUTION OF THE WASECA CITY COUNCIL  
SETTING DATE AND CONTINUATION DATE FOR  
TRUTH-IN-TAXATION PUBLIC MEETING**

**WHEREAS**, the City is required by State law to select a public meeting date for public discussion of the City's levy and budget and to select a continuation meeting date.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Waseca, Minnesota that the City's Truth-In-Taxation Meeting for the 2022 Budget be set for:

**Tuesday, December 7, 2021 – 7:00 p.m.**

**Tuesday, December 21, 2021 – 7:00 p.m. (Continuation date if needed)**

This resolution shall become effective upon its passage and without publication.

Adopted this 21<sup>st</sup> day of September, 2021.

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R. D. SRP  
MAYOR

ATTEST:

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MIKE ANDERSON  
ASSISTANT TO THE CITY MANAGER

<b>Title:</b>	FINAL PAYMENT FOR THE 2021 CRACK SEAL & SEAL COAT PROJECT (CITY PROJECT NO. 2021-03)		
<b>Meeting Date:</b>	September 21, 2021	<b>Agenda Item Number:</b>	<b>6D</b>
<b>Action:</b>	<input checked="" type="checkbox"/> MOTION <input type="checkbox"/> REQUESTS/PRESENTATIONS <input type="checkbox"/> RESOLUTION <input type="checkbox"/> ORDINANCE <input type="checkbox"/> DISCUSSION	<b>Supporting Documents:</b>	Pay Request No. 1 – Final
<b>Originating Department:</b>	Engineering	<b>Presented By:</b>	Consent Agenda
<b>Approved By City Manager:</b> <input checked="" type="checkbox"/>	<b>Proposed Action:</b> Motion to Approve Pay Request No. 1 - Final for the 2021 Crack Seal & Seal Coat Project (City Project No. 2021-03).		
<b>How does this item pertain to Vision 2030 goals?</b>	Creating high quality community assets.		

**BACKGROUND:** The work on the 2021 Crack Seal & Seal Coat Project has been completed and all work has been approved and accepted by staff. The project is ready for final acceptance and final payment. The total cost is \$97,837.65 and the original contract amount was \$92,614.25. The contractor has provided all documentation required prior to release of the final payment.

**BUDGET IMPACT:** This project was budgeted as part of the street and parks capital improvement plans. The airport's portion was funded by their general maintenance budget. Of the project total, \$68,601.65 was for streets, \$30,000 was for parks, and \$2,400 was for the airport. City staff completed the project design and inspection.

**RECOMMENDATION:** Staff recommends the Waseca City Council accept the work and approve Pay Request No. 1 - Final for the 2021 Crack Seal & Seal Coat Project (City Project No. 2021-03).

**CONTRACT CONSTRUCTION PAYMENT REQUEST**

DATE: September 13, 2021

TO: Mayor & City Council  
Lee Mattson-City Manager

PROJECT NAME: 2021 SIDEWALK PROJECT

CITY PROJECT NOS. : 2021-04

PAYMENT REQUEST : NO. ONE

PAYMENT PERIOD : August 16, 2021 to September 10, 2021

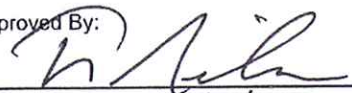
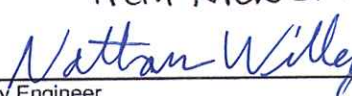
CONTRACTOR: NIELSEN CONCRETE  
365 INDUSTRIAL ST E  
KASOTA, MN 56050**CONTRACT**

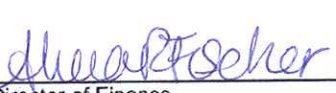

Original Contract sum:	<u>\$ 39,994.60</u>
Change Orders	<u>\$ -</u>
Net change by change orders:	<u>\$ -</u>
Contract Sum to date:	<u>\$ 39,994.60</u>

**PAYMENT**

Contract Amount to date:	<u>\$ 39,994.60</u>
Change Orders to date:	<u>\$0.00</u>
Total completed to date (earned):	<u>\$ 39,933.65</u>
Retainage: 5%	<u>\$ 1,996.68</u>
Total earned less retainage:	<u>\$ 37,936.97</u>
Less previous payment requests:	<u>\$ -</u>
Payment due this request:	<u>\$ 37,936.97</u>
% Contract completed to date:	<u>100%</u>
Amount remaining on contract	<u>\$ 60.95</u>
Total Amount Due	<u>\$ 37,936.97</u>

Approved By:

	<u>9/14/21</u>
Contractor Trent Nielsen	Date
	<u>9-14-21</u>
City Engineer	Date

	<u>9/15/2021</u>
Director of Finance	Date
	<u>9-15-21</u>
City Manager	Date

## CERTIFICATE OF PAYMENT

PROJECT: 2021 SIDEWALK PROJECT

CITY PROJECT NO. 2021-04

PAYMENT REQUEST NO. ONE

DATE: SEPTEMBER 13, 2021

CONTRACTOR:  
NIELSEN CONCRETE  
365 INDUSTRIAL ST E  
KASOTA, MN 56050

## PAYMENT PERIOD

FROM: AUGUST 16, 2021

TO: SEPTEMBER 10, 2021

ORIGINAL CONTRACT AMOUNT: \$ 39,994.60

REVISED CONTRACT AMOUNT: \$ 39,994.60

CONTRACT APPROVAL DATE: JULY 20, 2021

CONTRACT COMPLETION DATE: OCTOBER 15, 2021

To the City Council of the City of Waseca, The following payment is requested in accordance with the plans, specifications and conditions of the contract

No.	Item Number	DESCRIPTION	UNIT	PLAN QTY.	UNIT PRICE	PLAN AMOUNT	THIS PERIOD QUANTITY	THIS PERIOD PAYMENT	TO DATE QUANTITY	TO DATE PAYMENT
1	2021.501	MOBILIZATION	L.S.	1	\$3,500.00	\$ 3,500.00	1	\$ 3,500.00	1	\$ 3,500.00
2	2104.503	REMOVE CURB & GUTTER	L.F.	19.4	\$10.00	\$ 194.00	24.7	\$ 247.00	24.7	\$ 247.00
3	2104.504	REMOVE CONCRETE DRIVEWAY PAVEMENT	SQ. YD.	59.4	\$9.00	\$ 534.60	26.25	\$ 236.25	26.25	\$ 236.25
4	2104.505	REMOVE CONCRETE SIDEWALK	SQ. FT.	1975	\$2.00	\$ 3,950.00	2292.61	\$ 4,585.22	2292.61	\$ 4,585.22
5	2104.505	REMOVE STREET BRICK SIDEWALK	SQ. FT.	0	\$2.00	\$ -	0	\$ -	0	\$ -
6	2104.513	SAWING CONCRETE SIDEWALK-DWY-CURB	LN. FT.	131	\$5.00	\$ 655.00	132	\$ 660.00	132	\$ 660.00
7	2301.602	DRILL & GROUT REINFORCEMENT BAR (EPOXY COATED)	EACH	93	\$10.00	\$ 930.00	39	\$ 390.00	39	\$ 390.00
8	2521.501	4" CONCRETE WALK	SQ. FT.	1275	\$8.00	\$ 10,200.00	1510.81	\$ 12,086.48	1510.81	\$ 12,086.48
9	2521.501	6" CONCRETE WALK	SQ. FT.	700	\$14.00	\$ 9,800.00	781.8	\$ 10,945.20	781.8	\$ 10,945.20
10	2531.503	CONCRETE CURB & GUTTER DESIGN B618	L.F.	19.4	\$35.00	\$ 679.00	24.7	\$ 864.50	24.7	\$ 864.50
11	2531.503	CONCRETE CURB & GUTTER DESIGN BV6	L.F.	30	\$35.00	\$ 1,050.00	23.4	\$ 819.00	23.4	\$ 819.00
12	2531.504	6" CONCRETE DRIVEWAY PAVEMENT	SQ. YD.	59.4	\$80.00	\$ 4,752.00	26.25	\$ 2,100.00	26.25	\$ 2,100.00
13	2563.601	TRAFFIC CONTROL	L.S.	1	\$500.00	\$ 500.00	1	\$ 500.00	1	\$ 500.00
14	2572.602	CHIP ROOTS	EACH	2	\$375.00	\$ 750.00	0	\$ -	0	\$ -
15	2573.502	STORM DRAIN INLET PROTECTION	L.S.	1	\$500.00	\$ 500.00	1	\$ 500.00	1	\$ 500.00
16	2575.505	SOD, TYPE LAWN	SQ. YD.	200	\$10.00	\$ 2,000.00	250	\$ 2,500.00	250	\$ 2,500.00
TOTAL PROJECT 2021-04						\$ 39,994.60		\$ 39,933.65		\$ 39,933.65

## Memorandum of Understanding

This memorandum of understanding (MOU) is made on \_\_\_\_\_, 2021 by and between the City of Waseca, 508 South State Street, Waseca, MN 56093 (the “City”) and Southwest Minnesota Housing Partnership, 2401 Broadway Ave, Slayton, MN 56172 (the “Developer”) and collectively known as the ‘Parties’.

### Recitals

- A. The City is the owner in fee simple of an approximately 52.34-acre site of vacant agricultural farmland west of Gaiter Lake west of Gaiter Lake, identified on Exhibit A attached hereto (the “Subject Property”).
- B. The Parties desire to enter into this MOU to establish necessary cooperative arrangements that both Parties agree shall be necessary for the purpose of establishing and achieving various goals and objectives relating to the Developer’s acquisition and development of the Subject Property, generally consistent with the City’s Request for Proposals for the development of such property dated January 8, 2021.
- C. The City published a Request for Proposals for the development of the Subject Property on January 8<sup>th</sup>, 2021 (the “RFP”) in order to review developer offers in the context of the proposed end-use of the property. The Developer submitted its proposal in response to the RFP on February 11, 2021 (the “proposal”). The City informed the Developer of the acceptance of its proposal on February 22<sup>nd</sup>, 2021.
- D. The City has completed a Comprehensive Housing Needs Assessment for the City of Waseca in August 2021 per the request of the Developer.
- E. The Developer desires to develop the Subject Property generally in conformance with its proposal. In addition, the Developer will utilize best urban development practices and engage the broader community during phases of the project.
- F. The Parties agree to work together in good faith during all times when this MOU is in effect in order to promote collaboration and mutual support with regard to all matters related to the development of the Subject Property generally consistent with the City’s RFP and the Developer’s proposal.
- G. The Parties intend for this MOU to provide the framework and structure for any and all potential purchase, development and related agreements, which may be related to the Developer’s acquisition and development of the Subject Property (collectively, the “Definitive Agreements”).

### Developer Access

1. The developer is authorized by the City to execute an Investigative Access Agreement with the City for purposes of obtaining temporary access to that portion of the Subject Property

described and depicted on Exhibit A that is owned by the City, for purposes of conducting investigations and studies into the feasibility of the proposed development on the property. Such investigations and studies shall be conducted at the developer's expense in accordance with the terms of the form Investigative Access Agreement attached hereto as Exhibit B, and may include, but need not be limited to, environmental testing, soil borings, and survey work.

2. During the effective term of the City of Waseca Investigative Access Agreement, the developer shall confirm that its proposed development would be in compliance with local land use regulations and shall identify any necessary variances, conditional use permits, easements, or other development approvals (whether necessary at the local, state, or federal level) that may be necessary for the proposed development.
3. City staff agrees not to actively solicit proposals for sale or development of the Subject Property or otherwise market such property through the term of this MOU.

### **Parcel Transfer**

The Parties shall cooperatively determine what parcels or portions thereof within the Subject Property will be transferred to the Developer in the Definitive Agreements, and how the subdivision/platting of any such partial parcels shall be completed. Such transfer shall be by quit claim deed, subject to the requirements and restrictions of that certain Settlement Agreement and Mutual Release between the City, the Minnesota Department of Natural Resources, and Norlo, L.L.C., dated October 10, 2016, and the requirements and restrictions of any easements, including conservation easements, of record on the Subject Property, if applicable.

### **Term of MOU**

The term of this MOU shall be until June 1<sup>st</sup>, 2022, by which time the Developer will have submitted a formal site plan and preliminary request for public assistance including phases of the development process for the Subject Property, and by which time the parties intend to have finalized and entered into the Definitive Agreements.

### **Amendment of Cancellation of the MOU**

This MOU may be amended or modified at any time in writing by mutual consent of both Parties. In addition, either Party may cancel this MOU at any time upon written notice to the other Party.

### **General Provisions**

1. No contractual obligations of any kind are created by the approval and execution of this document by the City. The provisions and permissions contained herein are for the sole purpose of allowing the developer and the City to continue to evaluate the feasibility and possibility of the developer's proposed development being further pursued. This document places no legal or continuing obligation upon either party to engage in any further conversation or negotiation regarding the Developer's proposal.



2. The Developer understands and acknowledges that the City is subject to and will follow the requirements of the Minnesota Government Data Practices Act (Minn. Stat. Ch. 13) and Open Meeting Law (Minn. Stat. Ch. 13D) with respect to its treatment of this document and any future negotiations regarding the Subject Property. Consistent with these requirements, however, City staff will not voluntarily disclose the information contained herein to any third parties and will coordinate with the Developer in responding to any formal requests for data to which this document is responsive in order to take care that no private or nonpublic data is inadvertently disclosed.
3. The proposed terms contained herein are intended to serve as the starting point for further negotiations that may result in the preparation of one or more of the "Definitive Agreement(s)" to be drafted by the City Attorney and approved by the City Council and executed by the City and Developer. The Parties do not intend to be bound by any agreement until the Definitive Agreement(s), or any of them, is fully executed, following approval of the same by the City Council, and no party may reasonably rely on any promise inconsistent with this paragraph.

### **Limitation of Liability**

No rights or limitation of rights shall arise or be assumed between the Parties as a result of the terms of this MOU.

### **Authorization and Execution**

The signing of this MOU does not constitute a formal undertaking, and as such it simply intends that those signatories shall strive to reach, to the best of their abilities, the goals and objectives state in this MOU.

The MOU shall be signed by and shall be effective as of the date first written above.

City of Waseca

By: \_\_\_\_\_ Date: \_\_\_\_\_

Lee Matson

Its: City Manager

Southwest Minnesota Housing Partnership

By: \_\_\_\_\_ Date: \_\_\_\_\_

Chad Adams

Its: CEO

**EXHIBIT A**  
**DESCRIPTION OF SUBJECT PROPERTY**

**Waseca County Parcel I.D. Nos. 170170850 and 170200850,  
excluding the eastern 150' parallel to the ordinary high-water level of Gaiter Lake**

**[Subject to further review and updating after survey]**

**EXHIBIT B**  
**FORM OF INVESTIGATIVE ACCESS AGREEMENT**

<b>Title:</b>	Ordinance No. 1095, Approving the Rezoning of two parcels in BENNETTS ADDITION from R-2 to B-1, for property currently located at 501 State St N in Waseca; and Resolution No. 21-47, Approving a Preliminary and Final Plat for the MCHS ED SUBDIVISION.		
<b>Meeting Date:</b>	September 21, 2021	<b>Agenda Item Number:</b>	<b>7A</b>
<b>Action:</b>	<input type="checkbox"/> MOTION <input checked="" type="checkbox"/> RESOLUTION <input checked="" type="checkbox"/> ORDINANCE <input type="checkbox"/> DISCUSSION	<b>Supporting Documents:</b>	PC Memo Ordinance No. 1095 EXHIBIT A Resolution No. 21-47 EXHIBIT B, C
<b>Originating Department:</b>	Community Development	<b>Presented By:</b>	Bill Green
<b>Approved By City Manager:</b> <input checked="" type="checkbox"/>	<b>Proposed Action: Consider</b> Ordinance No. 1095, Approving the Rezoning of Parcel 17.152.0150 and 17.152.0110 from R-2 to B-1, for property currently located at 501 State St N in Waseca; and Resolution No. 21-47, Approving a Preliminary and Final Plat for the MCHS ED SUBDIVISION.		

**BACKGROUND:** Mayo Clinic Health Systems is the owner of the property. The applicant is requesting Rezoning of two parcels from R-2, Urban Residential District, to B-1, Central Business District, to set forth consistent zoning for the property, and Resolution No. 21-47, Approving a Preliminary and Final Plat for the MCHS ED SUBDIVISION.

With the property located in proximity to other B-1 zoned properties, and the newly created MCHS ED SUBDIVISION, the Waseca Planning and Zoning Department supports this rezoning proposal.

The Planning Commission held a public hearing on the request on September 14, 2021.

Public comments were given by Jackie Dickie, 517 2<sup>nd</sup> St NW and Jeff Dickie, 517 2<sup>nd</sup> St NW. They voiced concerns regarding the existing parking lot lighting, traffic noise, delivery truck noise, HVAC noise levels, and snow removal noise during the early morning hours.

They also questioned how the proposed additional parking and building addition would impact the neighbors in regard to the aforementioned concerns.

The Dickie's asked if an environmental impact study was done and were advised by staff that an environmental impact study was not required for this rezoning and preliminary and final plat request. They stated they would like one completed.

Discussion followed regarding the concerns of existing and possible future issues with development, but not necessarily relevant to the current rezoning and plat request.

The Planning Commission took no action to be forwarded to Council, and voted to table the Rezoning and Plats request with a request for further information on the public hearing items, by a vote of 4-0.

With no action forwarded to the City Council by the Planning Commission, the City Council may act on the requests as presented. If no action is taken by the City Council at the September 21, 2021 meeting, the public hearing for the Preliminary and Final Plat will continue at the Planning Commission October 12, 2021 meeting.

The City Council has 60 days from the date of complete application (August 6, 2021) to act on the Rezoning or the request will be granted (October 5, 2021).

The City Council has 120 days from the date of complete application (August 25, 2021) to act on the Preliminary & Final Plat or the request will be granted (December 23, 2021).

**BUDGET IMPACT:** None

**POLICY QUESTION:** The City Council has the authority to approve Rezoning, Preliminary and Final Plats.

**ALTERNATIVES CONSIDERED:** None

**RECOMMENDATION:**

City Staff recommends a motion to adopt Ordinance No. 1095, Approving the Rezoning of Parcel 17.152.0150 and 17.152.0110 from R-2 to B-1, for property currently located at 501 State St N in Waseca.

City Staff recommends a motion to adopt Resolution No. 21-47, Approving a Preliminary and Final Plat for the MCHS ED SUBDIVISION.

# **PLANNING DEPARTMENT**

## **M E M O R A N D U M**

**TO:** Daren Arndt, Chair  
Waseca Planning Commission

**FROM:** Bill Green  
Planning & Zoning Coordinator

**MEETING DATE:** September 14, 2021

**SUBJECT:** Public Hearing-Action No. 21-14 – Preliminary Plat/Final Plat; Rezoning

**ATTACHMENTS:** Application Narrative  
Site Location Map  
Site Photos  
Rezoning Map  
City Zoning Map  
Preliminary Plat  
Final Plat

### **APPLICANT**

Mayo Clinic Health Systems is the owner of the property. A complete application was received on August 25, 2021. Final action, which is required within 60 days of the complete application date, must be taken by October 24, 2021.

### **REQUEST**

The applicant is requesting approval of a Preliminary Plat and Final Plat to combine twelve (12) existing parcels, and Rezoning for two of those parcels. The parcels are currently located in the BENNETTS SUBDIVISION, and BENNETS ADDITION.

### **LOCATION**

The property is located at 501 State St N in the City of Waseca.

### **CURRENT LAND USE**

The site is occupied with a hospital and clinic with parking areas. Surrounding land uses are R-2, Urban Residential District to the north, east and west, and B-1, Central Business District to the south.

### **PROPOSED LAND USE**

The proposed use will remain, with a small building addition and added parking area.

### **ZONING**

The parcels are currently zoned B-1, Central Business District, and R-2, Urban Residential District. Once platted, the new parcel(s) will be rezoned so all are B-1, Central Business District.

### **ENVIRONMENTAL**

There are no environmental concerns at this time.

## **ENGINEERING COMMENTS**

- The new plat shall show all existing easements, including any new easements as determined are required.

## **PUBLIC UTILITIES**

The site is currently served by public utilities, no new utilities are required.

## **ZONING REVIEW**

On August 25, 2021, the City of Waseca received a complete application for a Subdivision and Rezoning for the properties located at 501 State St N in the City of Waseca

The applicant is requesting approval of a Preliminary Plat and Final Plat to combine twelve (12) existing parcels, and Rezoning for two of those parcels. The parcels are currently located in the BENNETTS SUBDIVISION, and BENNETS ADDITION. The site is occupied with a hospital and clinic with parking areas.

Surrounding land uses are R-2, Urban Residential District to the north, east and west, and B-1, Central Business District to the south. Recently, three existing residential houses on north parcels were demolished as the property was acquired by Mayo Clinic Health Systems. The parcels are currently zoned B-1, Central Business District, and R-2, Urban Residential District. Once platted, the new parcel(s) will be rezoned so all are B-1, Central Business District. This will allow for the current and any future expansion to be done without variances.

## **PUBLIC COMMENT**

\_\_\_\_\_ public comments were received.

Upon discussion of use and conditions, there were comments of /objection/support to the requests.

## **FINDINGS**

In the case of all subdivisions, the findings necessary for City Council approval of the preliminary plat and the final plat shall be as follows:

(A) The proposed subdivision, including the design, shall be consistent with all applicable general and specialized city, county and regional plans, including, but not limited to the city's comprehensive plan, level of service (LOS) standards which may be established in the comprehensive plan for streets and other public facilities and with Ch. 154 of this code.

(B) The physical characteristics of this site, including, but not limited to topography, soils, vegetation, susceptibility to erosion and siltation, susceptibility to flooding, water storage, drainage and retention, are such that the site is suitable for the type of development and uses contemplated.

(C) The proposed subdivision shall adequately provide for water supply, storm water drainage and control, wastewater transportation, erosion control and all other services, facilities and improvements otherwise required herein.

(D) The design of the subdivision or the type of improvements shall not adversely impact public health, safety and welfare, nor shall the proposed subdivision have an adverse impact on the reasonable development of the neighboring land.

(E) The design of the subdivision or the type of improvements will not conflict with easements of record or with easements established by judgment of a court.

Staff finds that the proposed plat, MCHS ED SUBDIVISION, meets all above criteria. This subdivision is consistent with the Comprehensive Plan.

In the case of the Rezoning, the recommendations and decisions on the zoning amendment shall be based on consideration of the following area:

1. Whether the proposed amendment corrects an error in the original text or map
2. Whether the proposed amendment addresses needs arising from a changing condition, trend, or fact affecting the subject property and surrounding area
3. Whether the proposed amendment is consistent with achieving the goals and objectives outlined in the Comprehensive Plan.

The property is zoned correctly for the use and is consistent with the Comprehensive Plan.

### **RECOMMENDATION**

Based on the submitted plans and the findings in this report, staff recommends approval of the requested Preliminary Plat and Final Plat, and the Rezoning as submitted for the property located at 501 State St N, City of Waseca.

### **REQUESTED ACTION**

Hold a public hearing on the Preliminary Plat, Final Plat, and Rezoning request and make a recommendation to be forwarded to the City Council for consideration at their September 21, 2021 meeting.





APPLICATION FOR SUBDIVISION

FEES (Non-refundable) Payable to City of Waseca

Preliminary Plat:

\$500.00 Plus \$10.00 per lot/outlot over 10 lots

Final Plat:

\$200 (if not processed concurrent with preliminary plat)

Recording Fees Extra

Mayo Clinic Health Systems (Contact: Luke Cummings)

507-594-4673

Name of Owner

Phone Number

1025 Marsh Street, Mankato, MN 56001

cummings.luke@mayo.edu

Address of Owner

E-Mail Address

501 N State Street, Waseca MN

Property Address

See attached

Legal Description of Property Involved

Hospital (Waseca Medical Center)

Hospital

Current Use

Proposed Use:

B-1

Current Zoning

Name and Address of Surveyor

Phone Number and E-Mail Address of Surveyor

Name and Address of Project Engineer

Phone Number and E-Mail Address of Project Engineer

SUBDIVISION INFORMATION:

11. Subdivision Name TBD

12. Quarter/Quarter SW

Section 7, T107N, R22W


PID # See Narrative

13. Number of Proposed Lots 1

Number of Outlots 0

14. Acreage of Development ~ 4.3 acres

15. Acknowledgement and Signature: *The undersigned hereby represents upon all of the penalties of law, for the purpose of inducing the City of Waseca to take the action herein requested, that all statements herein are true and that all work herein mentioned will be done in accordance with the ordinance of the City of Waseca and the laws of the State of Minnesota. The undersigned hereby consents that City of Waseca officials, employees, appointed commissioners and consultants hired by the City may enter the property to inspect the layout of structures, proposed placement of planned structures and additions, and the property's site features and dimensions.*

  
Signed

8/6/2021

Date

Signed

Date

AUG 06 2021



**APPLICATION FOR REZONING  
or ORDINANCE TEXT AMENDMENT**

**FEES**

- ☒ Application fee: \$700.00  
☐ Recording Fee (Rezoning only)  
\$46.00 Payable: Waseca County Recorder

Mayo Clinic Health Systems - Waseca ( Luke Cummings)

Name of Applicant (first) (middle) (last)

1025 Marsh Street  
Mankato, MN 56001

507-594-4673

cummings.luke@mayo.edu

Address of Applicant

Phone Number

e-mail address

Type of Request: ☒ Rezoning (zoning district boundary amendment) ☐ Ordinance Text Amendment

**REZONING (Zoning District Boundary Amendment)**

See attached

Legal Description of Property

ISG - Dan Stueber

507.387.6651

Dan.Stueber@ISGInc.com

Surveyor Name and Address

Surveyor Phone Number

Surveyor e-mail

ISG - Bryan Petzal

507.387.6651

Bryan.Petzel@ISGInc.com

Engineer Name and Address

Engineer Phone Number

Engineer e-mail

Required Submittals:

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Legal Description of property to be rezoned   | <input checked="" type="checkbox"/> Plat or Survey showing the area to be rezoned                |
| <input checked="" type="checkbox"/> Application Fee   | <input type="checkbox"/> Recording Fee   |
| <input checked="" type="checkbox"/> Proof of Ownership  | <input checked="" type="checkbox"/> Narrative describing the request and reasons for the request |
| <input checked="" type="checkbox"/> Site Development Plan to include all site dimensions, existing and proposed improvements, parking lot details, structure and parking setbacks from property lines, existing and proposed utilities, existing and proposed streets, grading and drainage plans, landscape plan, lighting plan, drawings showing exterior building materials and overall building height. |  |

**ORDINANCE TEXT AMENDMENT**

n/a

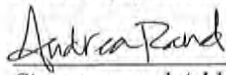
Ordinance Section/s Proposed for Amendment

Required Submittals:

- ☐ Proposed Ordinance Language ☐ Application Fee  
☐ Narrative describing the request and reasons for the requested ordinance amendment

AUG 05 2021

Acknowledgement and Signature: *The undersigned hereby represents upon all of the penalties of law, for the purpose of inducing the City of Waseca to take the action herein requested, that all statements herein are true and that all work herein mentioned will be done in accordance with the ordinance of the City of Waseca and the laws of the State of Minnesota. The undersigned hereby consents that City of Waseca officials, employees, appointed commissioners and consultants hired by the City may enter the property to inspect the layout of structures, proposed placement of planned structures and additions, and the property's site features and dimensions. The undersigned agrees to pay all costs associated with the vacation request.*

 ISG  
7900 International Dr Ste 550  
Signature and Address Minneapolis MN 55245

9/1/21

Date

Signature and Address

Date

Signature and Address

Date

Signature and Address

Date

Signature and Address

Date



AUGUST 5, 2021



Bill Green  
Planning and Zoning Coordinator  
City of Waseca  
508 S State Street  
Waseca, MN 56093  
[billg@ci.waseca.mn.us](mailto:billg@ci.waseca.mn.us)  
507-835-9738

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## **RE: WASECA MEDICAL CENTER EXPANSION, REZONING & PLAT - 501 N STATE STREET**

Dear Bill,

Enclosed are a Rezoning and Preliminary Plat/Final Plat applications and supporting documents for the Waseca Medical Center expansion project at 501 N State Street in Waseca. ISG is working as the design consultant on behalf of the property owners, Mayo Clinic Health Systems - Waseca and Waseca Area Memorial Hospital. We appreciate your time and consideration to review this project. Attached is a document providing a list of the Parcels included in this application request with the Legal Description. Below is a narrative of the application request.

### **OVERALL DEVELOPMENT PLAN**

The project for the Waseca Medical Center involves expanding the current Emergency Department to allow for more ER rooms, better patient access, separate accesses for patient, ambulance arrivals and deliveries, and expansion and reconfiguration of the existing parking lot. The reconfiguration of the parking lot will close the existing access from 2<sup>nd</sup> St NW on the western side of the property and move that access point a little north along 2<sup>nd</sup> Street NW of the existing location. This will eliminate ambulance and delivery traffic from crossing through the patient parking lot and patient entry creating a safer patient access. In addition, the ambulance and delivery/loading entries will be moved to the north side of the building to provide more patient privacy outside and programmatically inside the building as well. To accomplish this project, the three former residential homes to the north of the parking were acquired by Mayo Clinic Health Systems - Waseca and the homes have been removed. At this time, a rezoning and preliminary plat/final plat applications are submitted to initiate this process and a site plan application will be submitted soon with the final site design details provided.

### **SUBDIVISION REQUEST**

In total, there are 12 parcels that comprise the existing Waseca Medical Center property and the future expansion area. The purposed of the Preliminary Plat and Final Plat are to consolidate the parcels into one new lot. The new single lot for the entire medical center would be approximately 4.3 acres in size. Consolidating the parcels into one lot would remove all the interior parcel/lot lines and eliminate any setback issues for the existing and proposed building and parking lot. The 12 parcels included in the Platting request for lot consolidation are as follows: 171520150, 171520160, 171520140, 171520110, 171520100, 171520090, 171520010, 171520020, 171520030, 171530070, 171530030, 171520040.

### **REZONING REQUEST**

The existing Waseca Medical Center is zoned Central Business District (B-1) which permits Hospital and Clinic uses. There are two small parcels that are currently zoned Urban Residential District (R-2) and need to be rezoned to Central Business District (B-1), so that the entire Mayo Clinic site is within the same zoning as the Hospital. One parcel to be rezoned is in the northwest corner, PIN 171520150. It was the site of a residential home that has been removed and will be part of the parking lot expansion area. The second parcel to be rezoned to B-1 is along the

110  
eastern property line along N State Street, PIN 171520100. This parcel is currently zoned residential and there is an existing parking lot to serve the hospital.

## REZONING CRITERIA

Section 154.77 (E ) of the City Zoning Ordinance outlines the review criteria for a Zoning Map Amendment (rezoning) application. It states that:

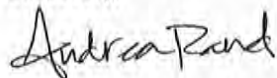
Recommendations and decisions on zoning amendments shall be based on consideration of the following criteria:

- (1) Whether the proposed amendment corrects an error in the original text or map; or
- (2) Whether the proposed amendment addresses needs arising from a changing condition, trend, or fact affecting the subject property and surrounding area; or
- (3) Whether the proposed amendment is consistent with achieving the goals and objectives outlined in the Comprehensive Plan.

The aforementioned Criteria 2 and 3 are applicable to this Zoning Map Amendment request. This project is driven by the need for improved and expanded Emergency Department care at the existing Waseca Medical Center based on the changing and growing needs of the community. In addition, this request is supported by the Land Use Map in the Comprehensive Plan. The entire block encompassing the 12 parcels for this project (inclusive of the two parcels to be rezoned to B-1) is designated as "Community Facility/Public Buildings." Therefore, rezoning the two residential properties to B-1 would allow for those parcels to be of consistent use and designation as envisioned by the Comprehensive Plan in anticipation that the entire block where the existing facility is located be purposed for the Waseca Medical Center.

Thank you again for your consideration of this request. Please feel welcome to contact me at 952-426-0699 or [Andrea.Rand@ISGinc.com](mailto:Andrea.Rand@ISGinc.com) with any questions or if there is any additional information we can provide in support of this project.

Sincerely,



**Andrea Rand, AICP**  
*Planner/Project Coordinator*

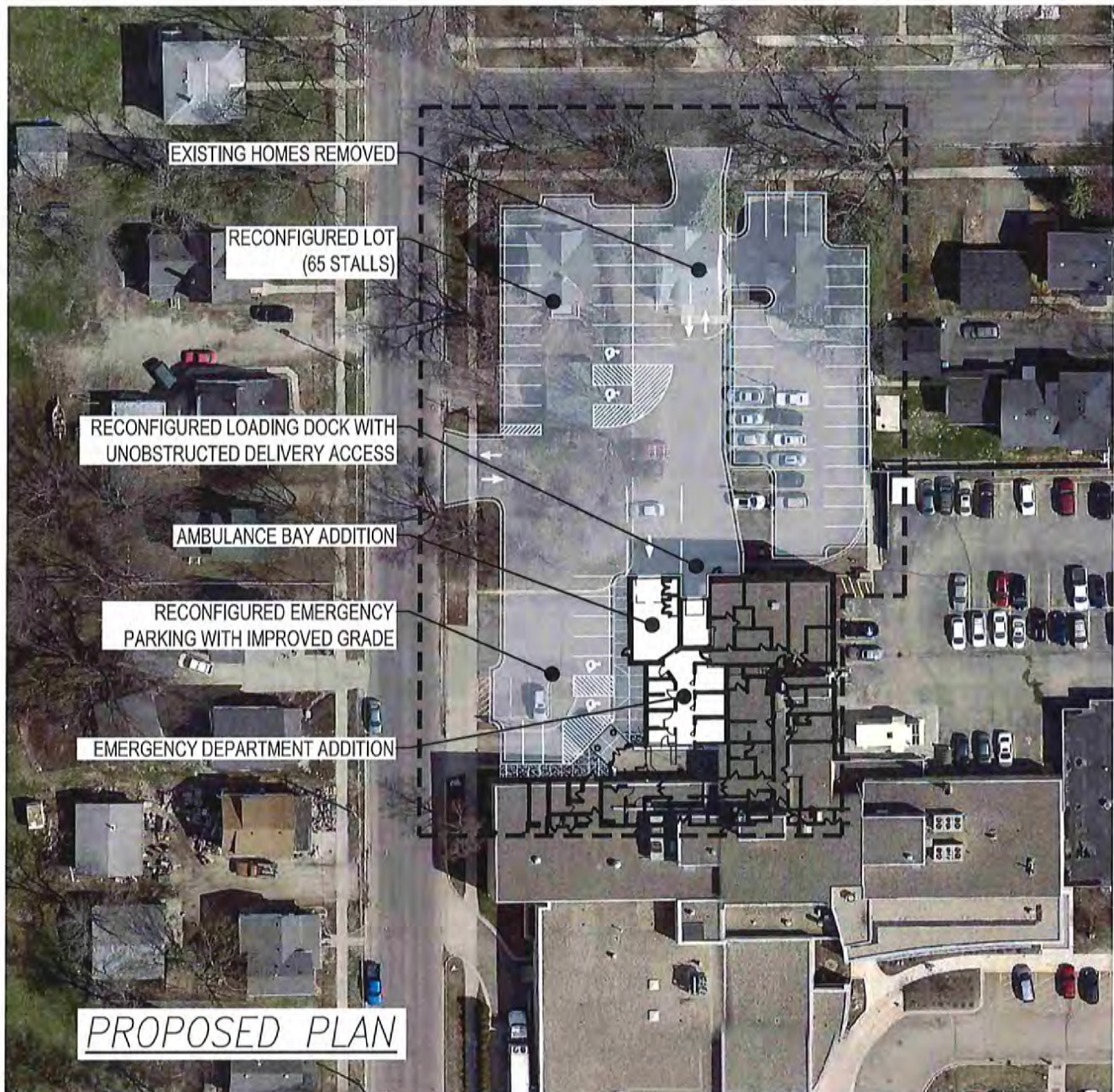


## Property Information

*\*Properties currently zoned R-2 to be rezoned to B-1 for the Zoning Map Amendment Application  
All parcels included in the Preliminary Plat/Final Plat Applications*

PIN	Address/Owner & Legal Description
171520150 *	121 6 <sup>th</sup> Ave NW      Owner: Mayo Clinic Health Systems - Mankato BENNETTS ADDITION W60FT OF LOTS 5 & 6 BLK 2
171520160	117 6 <sup>th</sup> Ave NW      Owner: Mayo Clinic Health Systems - Waseca BENNETTS ADDITION E60FT OF W120FT OF LOTS 5 & 6 BLK 2
171520140	113 6 <sup>th</sup> Ave NW      Owner: Mayo Clinic Health Systems - Waseca BENNETTS ADDITION W10FT OF LOTS 3 & 4 & E50FT OF LOTS 5 & 6 BLK 2
171520110 *	509 State St N      Owner: Mayo Clinic Health Systems - Waseca BENNETTS ADDITION S48FT OF LOT 3 EX W10FT BLK 2
171520090	501 State St N      Owner: Mayo Clinic Health Systems - Waseca BENNETTS ADDITION LOT 1 EX E75.16FT & LOTS 7 & 8 BLK 2 & ADJACENT N33FT OF VACATED 5TH AVE NW
171520100	501 State St N      Owner: Waseca Area Memorial Hospital BENNETTS ADDITION E75.16FT OF LOT 1 & LOT 2 BLK 2 & ADJACENT N33FT OF VACATED 5TH AVE NW
171520030	501 State St N      Owner: Mayo Clinic Health Systems - Waseca BENNETTS ADDITION LOT 5 EX S23FT OF W44FT OF E88 FT;N11FT OF E44FT & N7FT OF W 82FT OF LOT 6 BLK 1 & ADJACENT S33FT OF VAC ST
171520020	501 State St N      Owner: Waseca Area Memorial Hospital BENNETTS ADDITION W90FT OF N30FT OF LOT 4 BLK 1 & ADJACENT S33FT OF VACATED 5TH AVE NW
171520010	501 State St N      Owner: Mayo Clinic Health Systems - Waseca BENNETTS ADDITION N30FT OF LOT 4 EX W90FT BLK 1 & S33FT OF VACATED 5TH AVE NW THAT LIES ADJACENT TO E80FT OF LOT 4 BLK
171520040	501 State St N      Owner: Waseca Area Memorial Hospital BENNETTS ADDITION S23FT OF W44FT OF E88FT OF LOT 5;LOT 6 EX N11FT OF E44FT & EX N7FT OF W82FT; & LOT 7 BLK 1
171530070	107 5 <sup>th</sup> Ave NW      Owner: Waseca Area Memorial Hospital BENNETTS SUBDIV BLK 1 W90FT OF LOT 11 & W55FT OF LOTS 5,6,7,8,9, & 10 BLK 1
171530030	401 State St N      Owner: Mayo Clinic Health Systems - Waseca BENNETTS SUBDIV BLK 1 LOTS 5 - 10 EX W55FT THEREOF & LOT 11 EX W 90 FT BLK 1



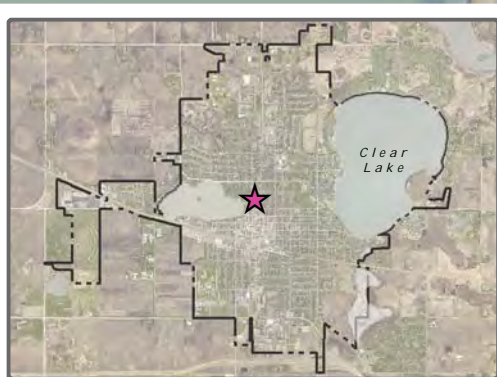
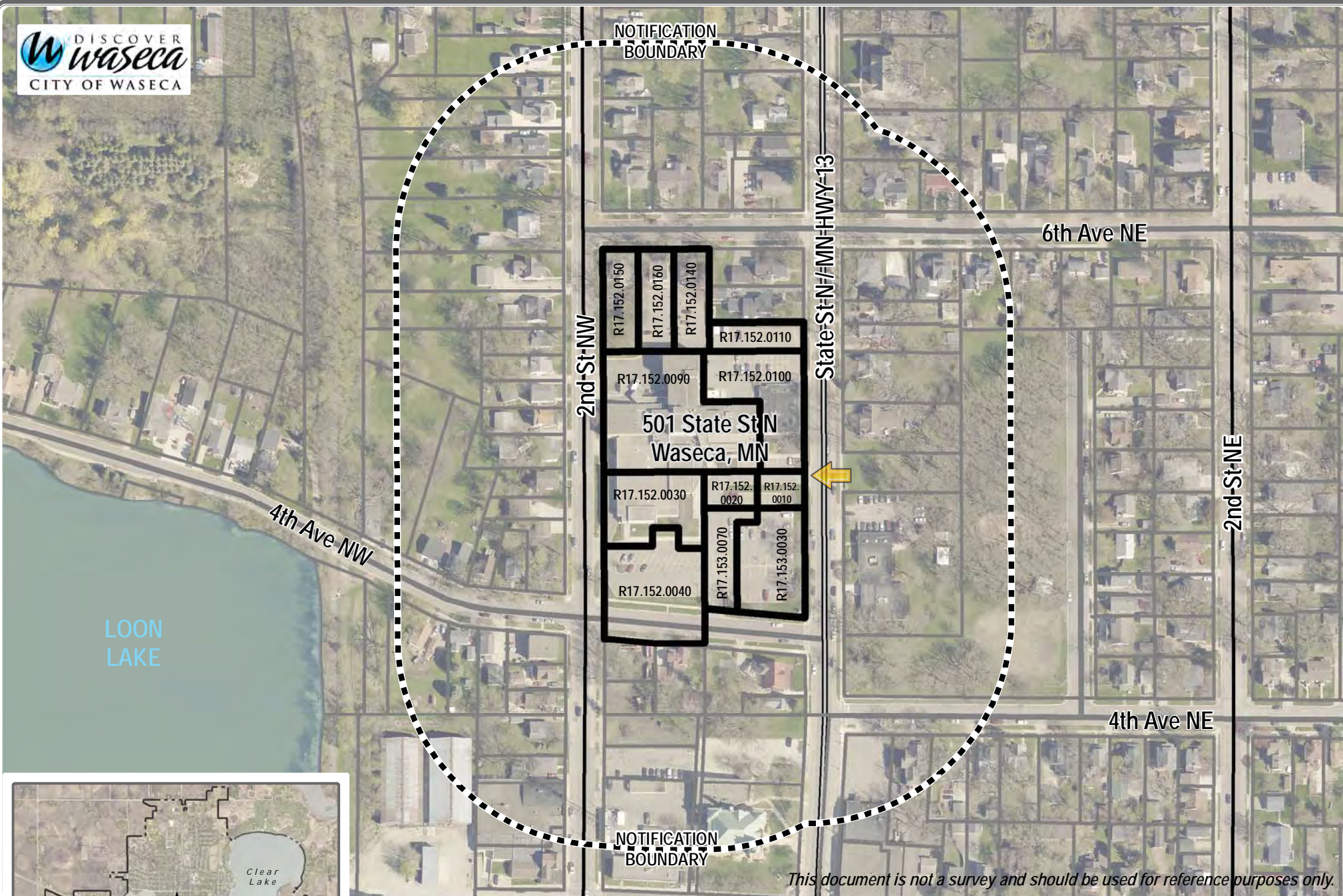


**MCHS WASECA CAMPUS**



**EMERGENCY  
DEPARTMENT**





*This document is not a survey and should be used for reference purposes only.*

# MAJOR SUBDIVISION

Mayo Health Clinic System - Waseca - 501 State St N - Waseca, MN 56093

PIN: R17.152.0160, R17.152.0150, R17.152.0140, R17.152.0110, R17.152.0100, R17.152.0090,  
R17.152.0040, R17.152.0030, R17.152.0020, R17.152.0010, R17.153.0070, R17.153.0030



0 100 Feet

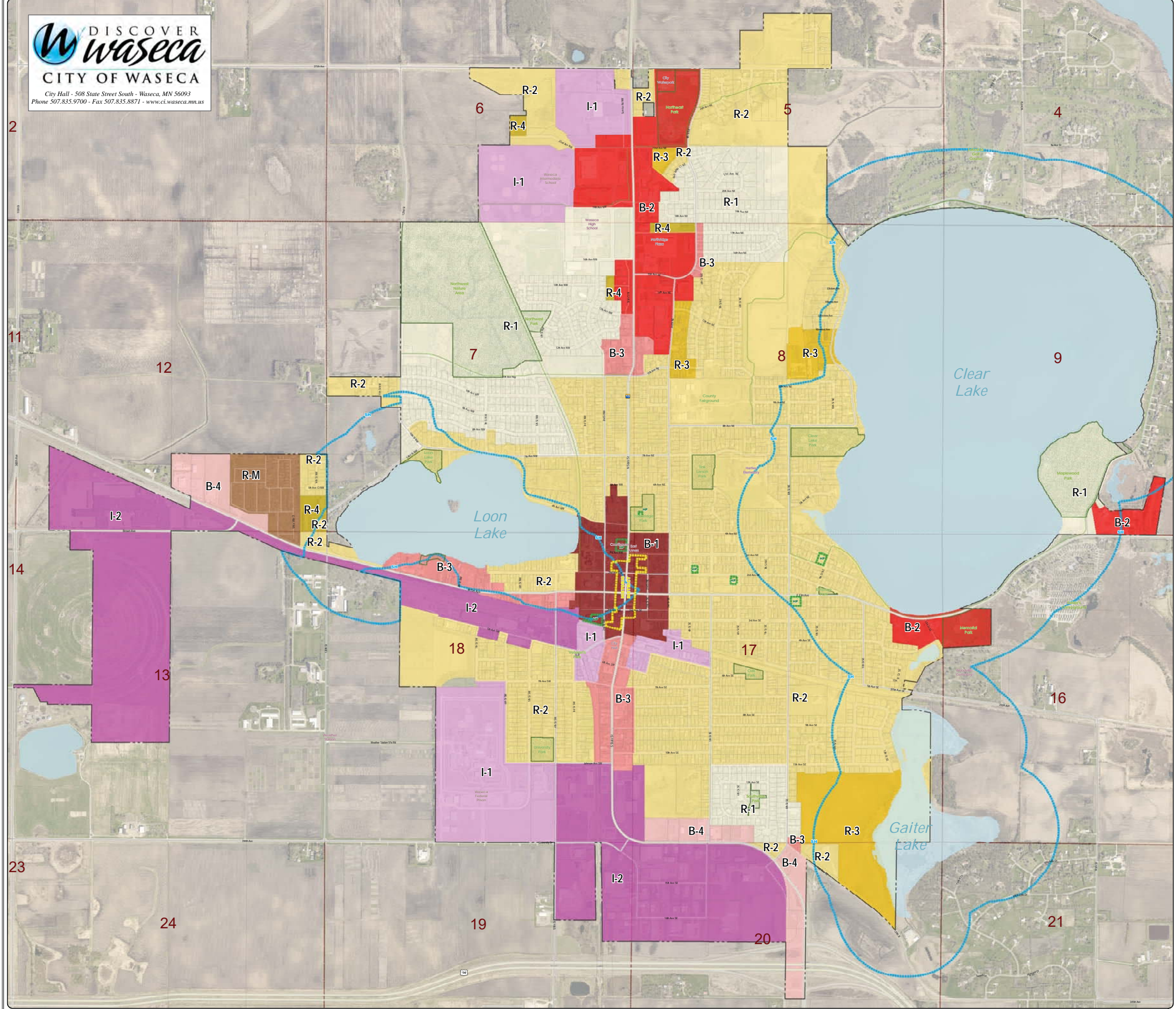


# ZONING



DISCOVER  
**waseca**  
CITY OF WASECA

City Hall - 508 State Street South - Waseca, MN 56093  
Phone 507.833.9700 - Fax 507.833.8871 - [www.ci.waseca.mn.us](http://www.ci.waseca.mn.us)



- Commerical**
- B-1

*Central Business District*
- B-2

*Community Retail and Service Business District*
- B-3

*Neighborhood Transition Business District*
- B-4

*Regional Retail and Service Business District*
- Industrial**
- I-1

*Limited Industry District*
- I-2

*Moderate Industry District*
- Residential**
- R-1

*Suburban Residential District*
- R-2

*Urban Residential District*
- R-3

*Multi-Family Low & Medium Density District*
- R-4

*Multi-Family High Density District*
- R-M

*Manufactured Home Community District*
- Overlays**
- SH

*Shoreland Overlay District*
- HP

*Heritage Preservation Overlay District*
- Downtown Historic District*

- Administrative**
- Section Line
- Park Boundary
- City Boundary
- Lakes
- Parcel Boundary
- Trails



September 16, 2021

Bill Green  
Planning and Zoning Coordinator  
City of Waseca MN  
508 South State Street  
Waseca MN 56093

Re: Planning Commission Report

Dear Bill:

The planning commission at its meeting on September 14, 2021 held a public hearing in regards to the preliminary and final plat application of Mayo Health Systems. In addition there is change of zoning request. If the city does not take any action the requests in the time allocated by statute they will be deemed to have been granted. The City Council has sixty (60) days to acting on the rezoning request before it is granted. The application was made August 6, 2021 and the sixty days would be up on October 5, 2021. The City Council has more time to act on the Preliminary and Final Plat. The application was made on August 25, 2021 and the request will be granted if not action is taken on December 23, 2021 (120 days).

The planning commission held a public hearing and heard from members of the public. The commission then voted to table this matter to its next meeting so that it can get more information on the complaints. It is not clear what additional information is being sought or by whom.

The typical process in these matter is that after an application is considered at the planning commission that the city council will receive it at its next meeting. That the process that is being used in this matter.

The planning commission is authorized by the Waseca City Charter (2.020) and the Waseca City Code (37.14 and 154.174). Under all of those provisions it is to serve as an advisory position to the city council. It does not make decision but only recommendations.

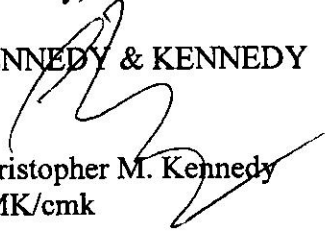
Because of the tight time line in which the city has to make these decisions it is appropriate for the council to review all applications the meeting after they have been presented to the planning commission whether a recommendation has been made or not.

The Council at its meeting can consider the application and determine how this matter should proceed whether that be granting the application or seeking additional information. If the Council has sufficient information and wants to grant the request then there is no need for the additional fact finding. If the council has concerns this allows them a chance to request the information necessary for them to make a decision. The alternative is that at the second meeting in October

they will have to solely rely on the recommendation of the planning commission as there would no time to request additional information before the request is granted by operation of the statute.

Sincerely,

KENNEDY & KENNEDY



Christopher M. Kennedy  
CMK/cmk

**ORDINANCE NO. 1095**

**AN ORDINANCE OF THE CITY OF WASECA, MINNESOTA  
REZONING REAL PROPERTY TO B-1, CENTRAL BUSINESS DISTRICT**

**WHEREAS** Mayo Clinic Health Systems, owners of the properties, Parcel ID No. 17.152.0150 and 17.152.0110, located at property currently addressed as 501 State St N in the City of Waseca, which is described as:

**The West 60 feet of Lots 5 and 6, Block 2, Bennetts Addition to the City of Waseca**

**And,**

**The South 48 feet of Lot 3, except the West 10 feet thereof, Block 2,  
Bennetts Addition to the City of Waseca**

**And,**

**WHEREAS** the above described property is currently zoned R-2, Urban Residential District; and

**WHEREAS** the above described property is currently occupied by a vacant lot and a parking area; and

**WHEREAS** Mayo Clinic Health Systems is requesting rezoning of the above-described property to B-1, Central Business District; and

**WHEREAS** the Planning Commission on the 14<sup>th</sup> day of September, 2021 held a public hearing on the proposed rezoning and took action to table the request until further information is available to rezone the above described property to B-1, Central Business District; and

**WHEREAS** the City Council of the City of Waseca has considered the action of the Planning Commission, and the effect of the proposed rezoning on the health, safety, and welfare of the occupants of the surrounding land, and on September 21, 2021, held a public hearing on the proposed rezoning, and all interested parties were provided an opportunity to provide input.

**NOW, THEREFORE** The City Council of the City of Waseca has hereby determined that said rezoning will bear no negative impact nor will it be a detriment to neighborhood character, surrounding property values, or the general purpose and intent of the ordinance and the Comprehensive Plan, and does hereby determine and ordain this parcel will be zoned B-1, Central Business District, and the City of Waseca Zoning Map shall be amended as shown in the attached **EXHIBIT A**.

This Ordinance shall take and be in force 10 days after its passage.

Adopted this \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
R.D. SRP  
MAYOR

ATTEST:

\_\_\_\_\_  
MIKE ANDERSON  
ASSISTANT TO THE CITY MANAGER

Introduced: September 14, 2021  
Adopted: September 21, 2021  
Published: September 29, 2021  
Effective: October 1, 2021

# EXHIBIT A

6th Ave NW

R17.152.0150

R17.152.0110

2nd-St-NW

501 State St N  
Waseca, MN

Mayo Health Clinic  
System - Waseca

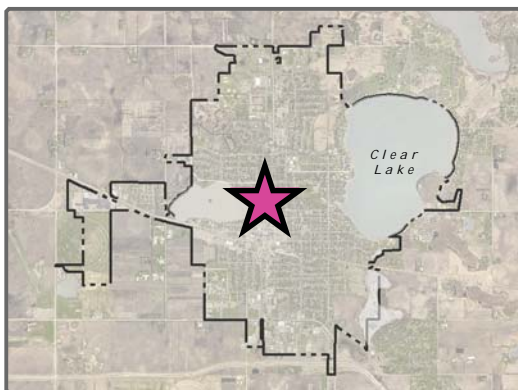
State St N / MN HWY 13

4th Ave NW

0 25 50 100 Feet



*This document is not a survey and should be used for reference purposes only!*



## REZONING SITE MAP

Owner: Mayo Health Clinic System - Waseca  
Parcel: R17.152.0150 & R17.152.0110

YELLOW OUTLINED AREA  
TO BE REZONED TO B1 -  
CENTRAL BUSINESS  
DISTRICT

**RESOLUTION NO. 21-47**

**A RESOLUTION OF THE WASECA CITY COUNCIL  
GRANTING APPROVAL FOR A PRELIMINARY PLAT AND FINAL PLAT TO MAYO  
CLINIC HEALTH SYTEMS FOR THE MCHS ED SUBDIVISION**

**WHEREAS**, application has been made to the City Council of the City of Waseca by Mayo Clinic Health Systems, owner of the property, for approval of a Preliminary Plat and Final Plat for the **MCHS ED SUBDIVISION**, located at 501 State St N in Waseca, which is described as:

**EXHIBIT B**  
and,  
**EXHIBIT C**

**WHEREAS**, the Waseca Planning Commission held a public hearing on the request at its September 14, 2021 meeting, and all interested parties were provided an opportunity to comment; and

**WHEREAS**, the City Council of the City of Waseca has considered the action of the Planning Commission, the consistency of the proposed project with the Waseca Zoning Ordinance, and the effect of the proposed use on the health, safety and welfare of the occupants of the surround land, existing and anticipated traffic conditions, and the effect of the proposed use on the City's Comprehensive Plan, and the effect on property values in the surrounding area; and

**WHEREAS**, the City Council of the City of Waseca makes the following findings of fact related to the proposed development and requested Preliminary Plat and Final Plat:

1. The proposed subdivision shall be consistent with all applicable plans.
2. The physical characteristics of this site are suitable for the type of development and uses.
3. The proposed subdivision shall adequately provide for utilities, services and development as required.
4. The design shall not adversely impact public health, safety and welfare, nor shall it have an adverse impact on the reasonable development of neighboring land.
5. The design of the subdivision or type of improvements will not conflict with easements.

**NOW THEREFORE, BE IT RESOLVED** by the City Council of the City of Waseca that this Preliminary Plat and Final Plat are hereby approved for the purpose as set forth subject to the following conditions:

1. All costs associated with the lot reconfiguration shall be paid by the property owner.
2. The property shall not be subdivided at any time in the future without prior written approval by the City of Waseca.
3. All development on the property shall comply with the Waseca Code of Ordinances and State and Local Building codes.

Adopted this 21<sup>st</sup> day of September, 2021.

---

R.D. SRP  
MAYOR

ATTEST:

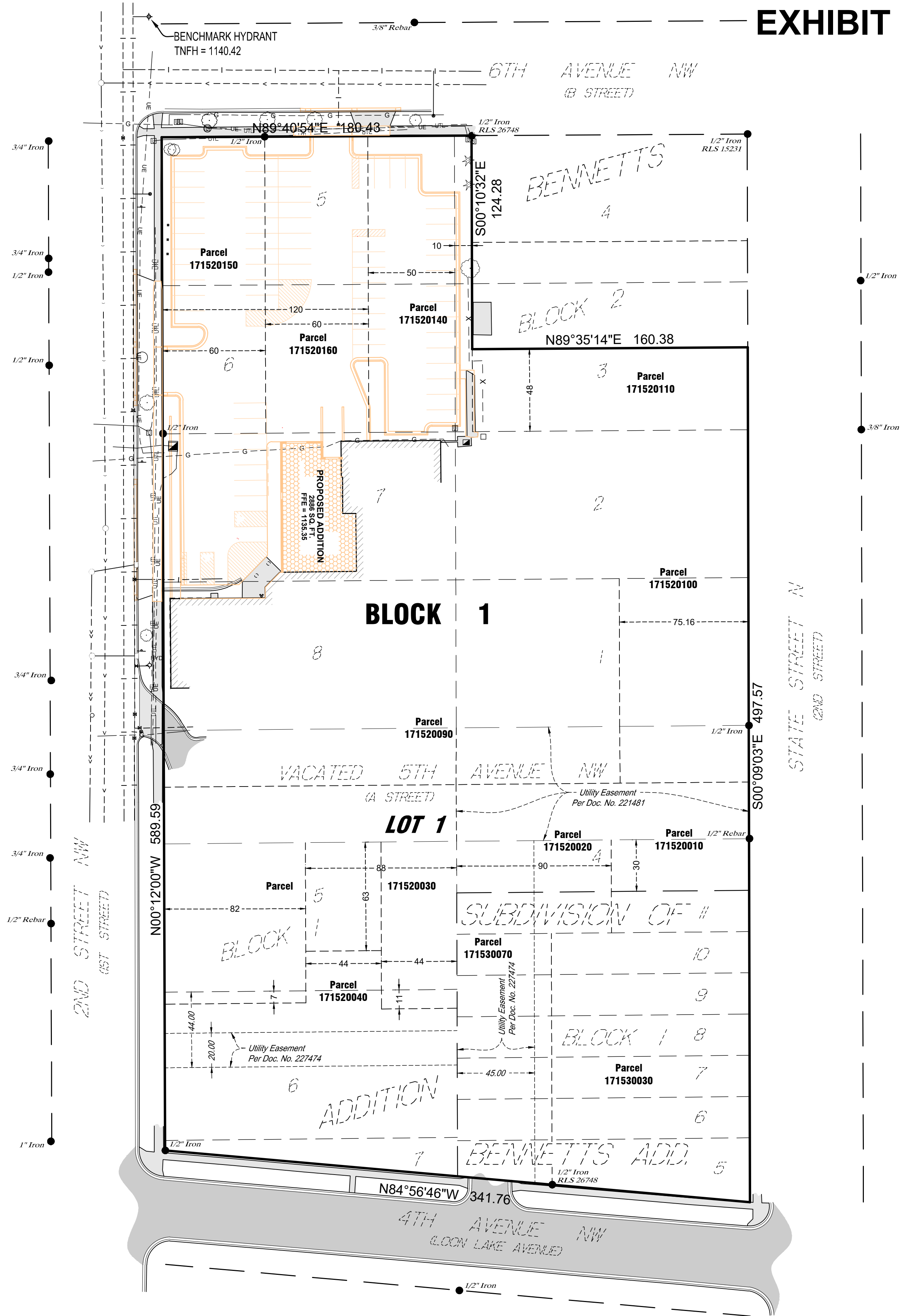
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MIKE ANDERSON  
ASSISTANT TO THE CITY MANAGER



MCHS ED SUBDIVISION

EXHIBIT B



**EXISTING LEGAL DESCRIPTION:**  
(Per Maschka, Riedy, Ries & Frenz O&E Report Dated August 6, 2021)

**Parcel 171520150**  
The West 60 feet of Lots 5 and 6, Block 2, Bennetts Addition to the City of Waseca.

**Parcel 171520160**  
The East 60 feet of the West 120 feet of Lots 5 and 6, Block 2, Bennetts Addition to the City of Waseca.

**Parcel 171520140**  
The East 50 feet of Lots 5 and 6 and the West 10 feet of Lots 3 and 4, Block 2, Bennetts Addition to the City of Waseca.

**Parcel 171520110**  
The South 48 feet of Lot 3, except the West 10 feet thereof, Block 2, Bennetts Addition to the City of Waseca.

**Parcel 171520090**  
Lot 1, except the East 75.16 feet, and Lots 7 and 8, Block Two and the adjacent North 33 feet of vacated 5th Avenue Northwest, Bennetts Addition to the City of Waseca.

**Parcel 171520100**  
Lot 2, and the East 75.16 feet of Lot 1, Block Two and the adjacent North 33 feet of vacated 5th Avenue Northwest, Bennetts Addition to the City of Waseca.

**Parcel 171520030**  
The East 44 feet of Lot 5, and the North 63 feet of the West 44 feet of the East 88 feet of Lot 5, and the North 11 feet of the East 44 feet of Lot 6, Block 1, Bennetts Addition ALSO the West 82 feet of Lot 5, and the North 7 feet of the West 82 feet of Lot 6, Block 1, Bennetts Addition.

AND

That part of the vacated 5th Avenue Northwest adjacent to Lot 5, Block 1, Bennetts Addition to the City of Waseca

**Parcel 171520020**  
The North 30 feet of Lot 4, except the West 90 feet, Block 1, Bennetts Addition and that part of the vacated 5th Avenue Northwest adjacent thereto.

**Parcel 171520010**  
The West 90 feet of the North 30 feet of Lot 4, Block 1, Bennetts Addition and that part of the vacated 5th Avenue Northwest adjacent thereto.

**Parcel 171520040**  
The South 23 feet of the West 44 feet of the East 88 feet of Lot 5 and Lot 6, except the North 11 feet of the East 44 feet and except the North 7 feet of the West 82 feet, and that part of Lot 7 lying North of Fourth Avenue Northwest (formerly Loon Lake Avenue), Block 1, Bennetts Addition to the City of Waseca.

**Parcel 171530070**  
The West 90 feet of Lot 11 and the West 55 feet of Lots 5, 6, 7, 8, 9, and 10, Block 1, Subdivision of Block One Bennetts Addition to the Village, now City, of Waseca, according to the plat thereof on file and of record in the Office of the County Recorder in and for said county and state.

**Parcel 171530030**  
Lots 5, 6, 7, 8, 9, and 10, except the West 55 feet thereof, and Lot 11, except the West 90 feet thereof, Block 1, Subdivision of Block One Bennetts Addition to the Village, now City, of Waseca, according to the plat thereof on file and of record in the Office of the County Recorder in and for said county and state.

**OWNERS / DEVELOPERS:**  
Mayo Clinic Health System -  
Southwest Minnesota  
501 N State Street  
Waseca, MN 56093

**SURVEYOR:**  
ISG  
115 E. Hickory Street Suite 300  
Mankato, MN 56001  
(507)-387-6651

**AREA TABLE:**  
Lot 1 Block 1 = 186,349 sq. ft. - 4.278 acres

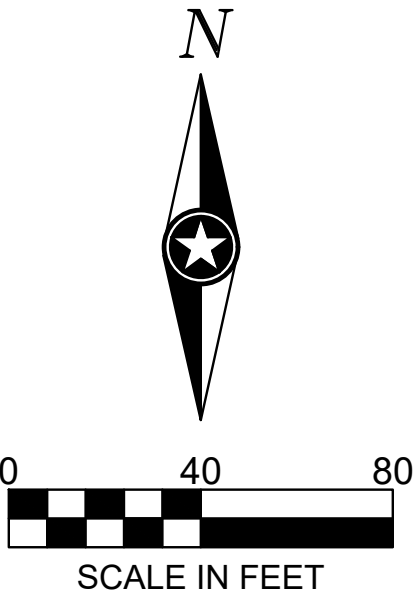
**EXISTING PROPERTY:**  
ZONED: B-1 (Central Business District) & R-2 (Urban Residential District)

**B-1 Building Setbacks**  
Front - 0 feet  
Side - 0 feet  
Corner Side - 0 feet  
Rear - 0 feet  
From R District - 50 feet

**R-2 Building Setbacks**  
Front - 25 feet  
Side - 7 feet  
Corner Side - 20 feet  
Rear - 25 feet

**BENCHMARK:**  
Top nut fire hydrant located at northeast corner of 6th Avenue NW and 2nd Street NW.  
Elev=1140.42 (NAVD88)

- NOTES:**
- Planned improvements depicted hereon in an orange color are based on preliminary plans prepared by ISG.
  - Existing conditions within the planned improvement area are not shown hereon.



Orientation of this bearing system is based upon the east line of 2nd Street NW. Said line bears North 00 degrees 12 minutes 00 seconds West.

LEGEND

- Bituminous Surface
- Concrete Surface
- Existing Building
- Sanitary Sewer Line
- Storm Sewer Line
- Water Line
- Underground Gas Line
- Underground Electric Line
- Underground Utility Line
- Building Canopy Or Deck Line
- Fence
- Iron Monument Found
- Transformer
- Utility Pedestal
- Hydrant
- Fire Department Connection
- Water Valve
- Manhole/Catch Basin
- Roof Drain
- Post
- Sign
- Coniferous Tree
- Deciduous Tree



I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

DANIEL L. STUEBER

DATE LIC. NO. 43110

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

MCHS ED EXPANSION

Part of Blocks 1 & 2, Bennetts Addition & part of Block 1, Subdivision of Bennetts Addition, City of Waseca, Waseca County, Minnesota.

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

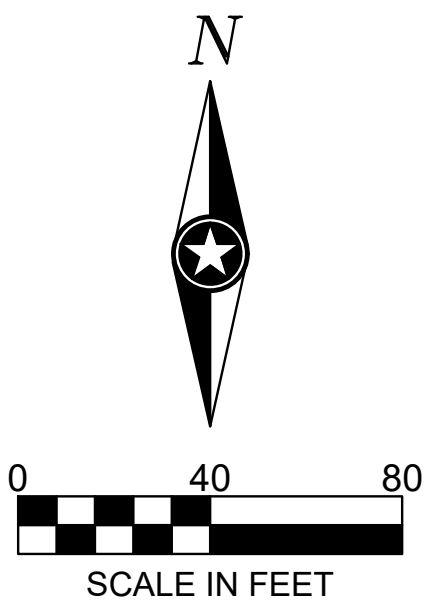
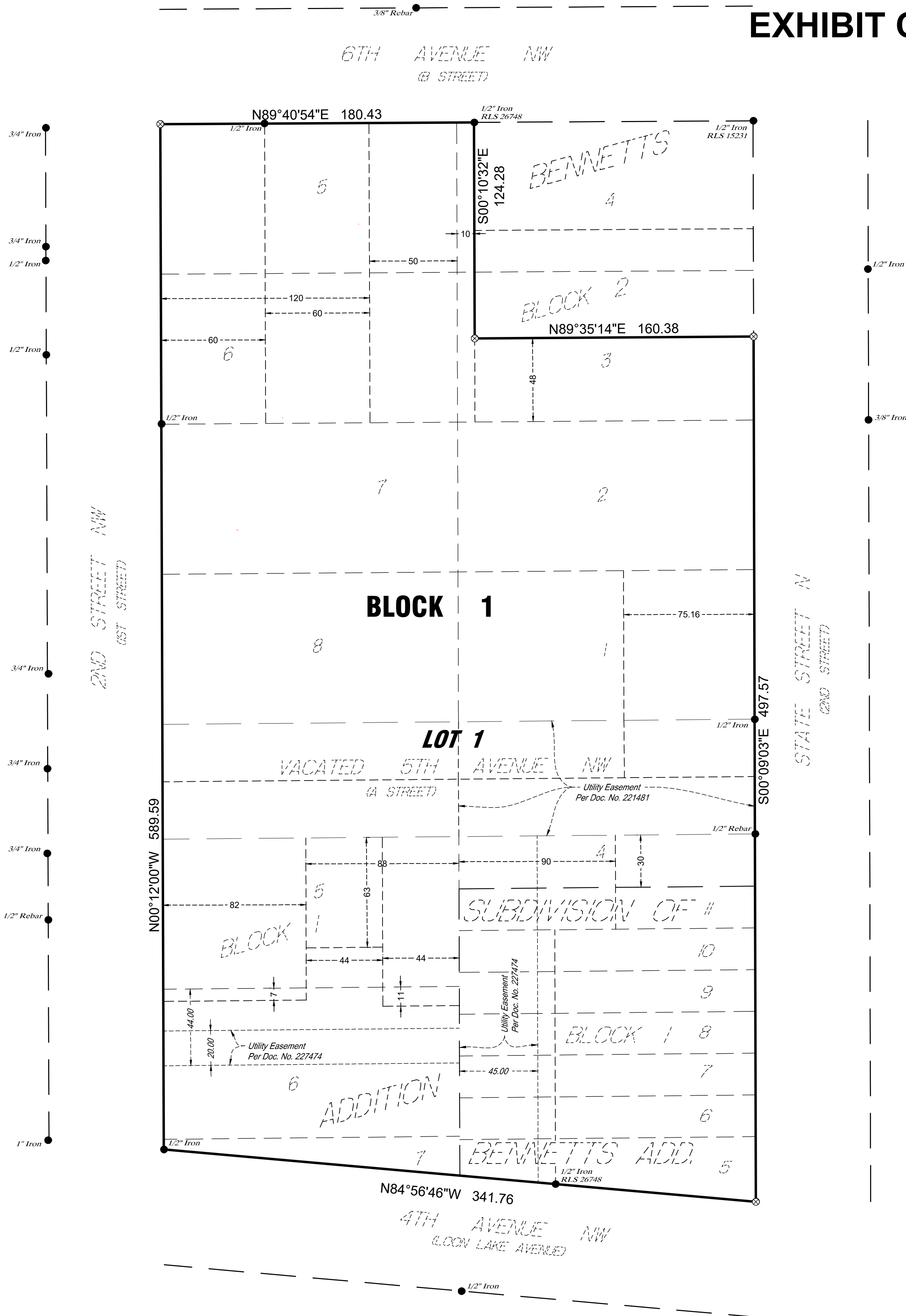
PROJECT NO. 19-23341  
FILE NAME 23341 PPLAT  
DRAWN BY KH  
DESIGNED BY ---  
REVIEWED BY ---  
ORIGINAL ISSUE DATE 8/25/21  
CLIENT PROJECT NO. -

PRELIMINARY PLAT



## MCHS ED SUBDIVISION

## EXHIBIT C



Orientation of this bearing system is based upon the east line of 2nd Street NW. Said line bears North 00 degrees 12 minutes 00 seconds West.

## INSTRUMENT OF DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS: That Mayo Clinic Health System - Southwest Minnesota, a Minnesota non-profit corporation, owner of the following described property:

The West 60 feet of Lots 5 and 6, Block 2, Bennetts Addition to the City of Waseca.

AND

The East 60 feet of the West 120 feet of Lots 5 and 6, Block 2, Bennetts Addition to the City of Waseca.

AND

The East 50 feet of Lots 5 and 6 and the West 10 feet of Lots 3 and 4, Block 2, Bennetts Addition to the City of Waseca.

AND

The South 48 feet of Lot 3, except the West 10 feet thereof, Block 2, Bennetts Addition to the City of Waseca.

AND

Lot 1, except the East 75.16 feet, and Lots 7 and 8, Block Two and the adjacent North 33 feet of vacated 5th Avenue Northwest, Benaetts Addition to the City of Waseca.

AND

Lot 2, and the East 75.16 feet of Lot 1, Block Two and the adjacent North 33 feet of vacated 5th Avenue Northwest, Bennetts Addition to the City of Waseca.

AND

The East 44 feet of Lot 5, and the North 63 feet of the West 44 of the East 88 feet of Lot 5, and the North 11 feet of the East 44 feet of Lot 6, Block 1, Bennetts Addition ALSO the West 82 feet of Lot 5, and the North 7 feet of the West 82 feet of Lot 6, Block 1, Bennetts Addition.

AND

That part of the vacated 5th Avenue Northwest adjacent to Lot 5, Block 1, Bennetts Addition to the City of Waseca

AND

The North 30 feet of Lot 4, except the West 90 feet, Block 1, Bennetts Addition and that part of the vacated 5th Avenue Northwest adjacent thereto.

AND

The West 90 feet of the North 30 feet of Lot 4, Block 1, Bennetts Addition and that part of the vacated 5th Avenue Northwest adjacent thereto.

AND

The South 23 feet of the West 44 feet of the East 88 feet of Lot 5 and Lot 6, except the North 11 feet of the East 44 feet and except the North 7 feet of the West 82 feet, and that part of Lot 7 lying North of Fourth Avenue Northwest (formerly Loon Lake Avenue), Block 1, Bennetts Addition to the City of Waseca.

AND

The West 90 feet of Lot 11 and the West 55 feet of Lots 5, 6, 7, 8, 9, and 10, Block 1, Subdivision of Block One Bennetts Addition to the Village, now City, of Waseca, according to the plat thereof on file and of record in the Office of the County Recorder in and for said county and state.

AND

Lots 5, 6, 7, 8, 9, and 10, except the West 55 feet thereof, and Lot 11, except the West 90 feet thereof, Block 1, Subdivision of Block One Bennetts Addition to the Village, now City, of Waseca, according to the plat thereof on file and of record in the Office of the County Recorder in and for said county and state.

Has caused the same to be surveyed and platted as **MCHS ED SUBDIVISION**.

In witness whereof said Mayo Clinic Health System - Southwest Minnesota, a Minnesota non-profit corporation, has caused these presents to be signed by its proper officer this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signed: Mayo Clinic Health System - Southwest Minnesota

\_\_\_\_\_  
President

State of \_\_\_\_\_

County of \_\_\_\_\_

This instrument was acknowledged before me on \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_, President, of Mayo Clinic Health System - Southwest Minnesota, a Minnesota non-profit corporation, on behalf of the corporation.

\_\_\_\_\_  
(sign)

\_\_\_\_\_  
(print)

Notary Public \_\_\_\_\_

My Commission Expires \_\_\_\_\_

## LEGEND

- Iron Monument Found
- ⊗ Indicates 1/2" Dia. x 18" Long Solid Iron Pipe Set With Plastic Cap Marked By ISG, License No. 43110 To Be Set Before Time of Recording.

## SURVEYOR'S CERTIFICATE

I, Daniel L. Stueber, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Daniel L. Stueber, Licensed Land Surveyor  
Minnesota License No. 43110

State of Minnesota  
County of Blue Earth

This instrument was acknowledged before me on \_\_\_\_\_, 20\_\_\_\_ by Daniel L. Stueber, Licensed Land Surveyor.

\_\_\_\_\_  
Kent A. Hays  
Notary Public, Minnesota  
My Commission Expires Jan. 31, 2025

## WASECA PLANNING COMMISSION

Be it known that at a meeting held on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, the Planning Commission of the City of Waseca did hereby review and approve this plat of **MCHS ED SUBDIVISION**.

\_\_\_\_\_  
Chair Person

\_\_\_\_\_  
Secretary

## CITY COUNCIL, CITY OF WASECA, MINNESOTA

This plat of **MCHS ED SUBDIVISION**, was approved and accepted by the City Council of the City of Waseca, Minnesota at a regular meeting thereof held this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Assistant to the City Manager

\_\_\_\_\_  
City Manager

\_\_\_\_\_  
City Engineer

## TITLE OPINION

I, \_\_\_\_\_, Licensed Attorney, State of Minnesota, do hereby certify that the owners as indicated hereon represent all ownership interest in the land encompassed by this plat, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Licensed Attorney

## COUNTY AUDITOR/TREASURER, WASECA COUNTY, MINNESOTA

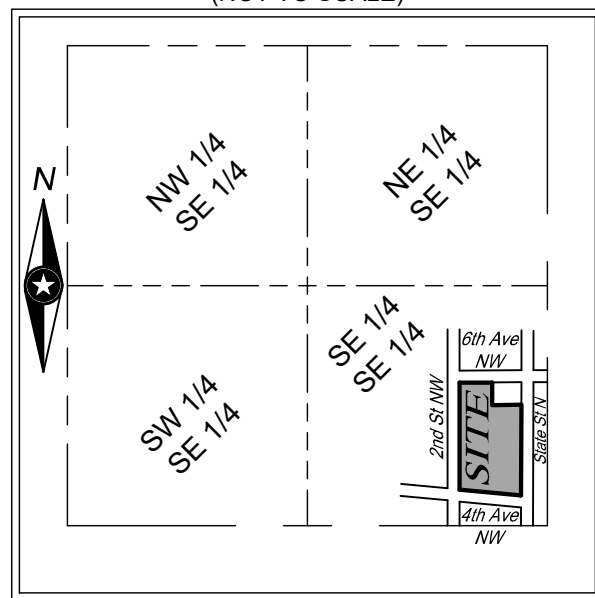
Pursuant to Minnesota Statutes, Chapter 505.021, Subd. 9, taxes payable for the year 20\_\_\_\_ on the land hereinbefore described have been paid. Also pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Waseca County Auditor/Treasurer

## COUNTY RECORDER, WASECA COUNTY, MINNESOTA

I hereby certify that this plat of **MCHS ED SUBDIVISION** was filed in the office of the County Recorder for public record on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ M., and was duly filed in Book \_\_\_\_\_ of Plats, page \_\_\_\_\_, as Document No. \_\_\_\_\_.

\_\_\_\_\_  
Waseca County Recorder

VICINITY MAP  
(NOT TO SCALE)

SE 1/4 SEC. 7, TWP. 107, RGE. 22  
Waseca County, Minnesota

ISG



<b>Title:</b>	Ordinance No. 1096: An Ordinance of the Waseca City Council Amending Chapter 150 of the Code of Ordinances.		
<b>Meeting Date:</b>	September 21, 2021	<b>Agenda Item Number:</b>	<b>7A</b>
<b>Action:</b>	<input type="checkbox"/> MOTION <input type="checkbox"/> REQUESTS/PRESENTATIONS <input type="checkbox"/> RESOLUTION <input checked="" type="checkbox"/> ORDINANCE <input type="checkbox"/> DISCUSSION	<b>Supporting Documents:</b>	PC Memo Ordinance No. 1096
<b>Originating Department:</b>	Community Development	<b>Presented By:</b>	Bill Green
<b>Approved by City Manager:</b> <input checked="" type="checkbox"/>	<b>Proposed Action:</b> Motion to adopt Ordinance No. 1096, Amending Chapter 150 of the Waseca City Code of Ordinances		
<b>How does this item pertain to Vision 2030 goals?</b>	Good Governance		

**BACKGROUND:**

This text amendment will bring the City of Waseca Code of Ordinances for Accessory structures in line with the MN State Building Code, as well as surrounding communities. This amendment has been selected and brought forth to provide clarity within the Ordinance, and to reduce the cost to City residents.

The Planning Commission held a public hearing on the Text Amendment request on September 14, 2021. The Planning Commission voted 4-0 recommending approval to the City Council.

Due to the length of the Text Amendment changes, a summary will be published in the newspaper, with the complete text available at Waseca City Hall, 508 State St S, Waseca MN.

**BUDGET IMPACT:** None

**POLICY QUESTION:** The City Council has the authority to approve Text Amendments.

**ALTERNATIVES CONSIDERED:** None.

**RECOMMENDATION:** Motion to adopt Ordinance 1096; Approving Text Amendments to Chapter 150 of the Waseca City Code of Ordinances.

**ORDINANCE NO. 1096**

**AN ORDINANCE AMENDING CHAPTER 150: BUILDING REGULATIONS**

**WHEREAS**, Chapter 150 of the Waseca Code of Ordinances provides zoning provisions;

**NOW, THEREFORE**, the City of Waseca does hereby ordain that the amendments to Chapter 150 of the Waseca Code of Ordinances as shown here-in are hereby approved and modified. The modification only amends the specified codes, the remainder of the Ordinance shall remain as previously adopted.

**SECTION 1.** Chapter 150: BUILDING REGULATIONS of the Waseca Code of Ordinances is hereby amended as follows, underlined text is being added and ~~strikeout~~ text is being deleted:

**150.04 ORGANIZATION.**

(D) (1) Hereafter, no person shall construct, alter, wreck, or move any kind of structure or building or part thereof without first securing a building permit therefore; provided no permit shall be necessary for the construction, reconstruction, or alteration of a building where the building is less than ~~120~~ 200 square feet in size. In the shoreland overlay zoning district, a building permit shall be required for the construction or installation of any building or structure, regardless of size, for the installation of sewage treatment systems, and for those grading and filling activities not exempted by §§ 154.045 through 154.060. Application for a building permit shall be made to the Building Official or his or her designee on the forms provided by the city. The application shall include sufficient use and that, in cases where municipal sewer does not yet serve a site, a compliant sewage treatment system will be provided. Permits shall stipulate that any identified nonconforming sewage treatment system, as defined by § 154.058, shall be reconstructed or replaced in accordance with the provisions contained therein.

**SECTION 2.** This Ordinance shall take and be in force 10 days after its passage

ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_ 2021.

\_\_\_\_\_  
R. D. SRP  
MAYOR

ATTEST:

\_\_\_\_\_  
MIKE ANDERSON  
ASSISTANT TO THE CITY MANAGER

Introduced: September 14, 2021  
Adopted: September 21, 2021  
Published: September 29, 2021  
Effective: October 1, 2021

<b>Title:</b>	Ordinance No. 1097: An Ordinance of the Waseca City Council Amending Chapter 151 of the Code of Ordinances.		
<b>Meeting Date:</b>	September 21, 2021	<b>Agenda Item Number:</b>	<b>7A</b>
<b>Action:</b>	<input type="checkbox"/> MOTION <input type="checkbox"/> REQUESTS/PRESENTATIONS <input type="checkbox"/> RESOLUTION <input checked="" type="checkbox"/> ORDINANCE <input type="checkbox"/> DISCUSSION	<b>Supporting Documents:</b>	PC Memo Ordinance No. 1097
<b>Originating Department:</b>	Community Development	<b>Presented By:</b>	Bill Green
<b>Approved by City Manager:</b> <input checked="" type="checkbox"/>	<b>Proposed Action:</b> Motion to adopt Ordinance No. 1097, Amending Chapter 151 of the Waseca City Code of Ordinances		
<b>How does this item pertain to Vision 2030 goals?</b>	Good Governance		

**BACKGROUND:**

These amendments have been selected and brought forth to provide clarity within the Ordinance, to promote development, bring the current code into compliance with ADA regulations, and to reduce the need for common variances.

The Planning Commission held a public hearing on the Text Amendment request on September 14, 2021. The Planning Commission voted 4-0 recommending approval to the City Council.

Due to the length of the Text Amendment changes, a summary will be published in the newspaper, with the complete text available at Waseca City Hall, 508 State St S, Waseca MN.

**BUDGET IMPACT:** None

**POLICY QUESTION:** The City Council has the authority to approve Text Amendments.

**ALTERNATIVES CONSIDERED:** None.

**RECOMMENDATION:** Motion to adopt Ordinance No. 1097; Approving Text Amendments to Chapter 151 of the Waseca City Code of Ordinances.

## ORDINANCE NO. 1097

### AN ORDINANCE AMENDING CHAPTER 151: SUBDIVISIONS

**WHEREAS**, Chapter 151 of the Waseca Code of Ordinances provides zoning provisions;

**NOW, THEREFORE**, the City of Waseca does hereby ordain that the amendments to Chapter 151 of the Waseca Code of Ordinances as shown here-in are hereby approved and modified. The modification only amends the specified codes, the remainder of the Ordinance shall remain as previously adopted.

**SECTION 1.** Chapter 151: Subdivisions of the Waseca Code of Ordinances is hereby amended as follows, underlined text is being added and ~~strikeout~~ text is being deleted:

#### 151.003 SCOPE.

(A) This chapter governs plats and subdivision of lands subject to its provisions.

(B) The City Council may, by resolution, cause this chapter to apply to a specified portion of the unincorporated area lying within two miles of the city borders, as provided for by M.S. § 462.358, as it may be amended from time to time.

(C) (1) Any unplatted property shall be platted in accordance with the provisions and standards of this chapter before it is developed. For the purposes of this chapter, the term **DEVELOPED** is defined as any construction activity requiring the installation of public improvement. ~~or any construction activity requiring a building permit with the exception of permits for:~~

- ~~—— (a) Decks;~~
- ~~—— (b) Driveways;~~
- ~~—— (c) Fences;~~
- ~~—— (d) Accessory structures, under 700 square feet;~~
- ~~—— (e) Residential additions, under 1,500 square feet; and~~
- ~~—— (f) Commercial and industrial expansions, under 10,000 square feet.~~

(2) No expansion or addition to a structure that changes the use, or is intended to change the use of a property, shall be allowed.

## 151.047 SIDEWALKS.

(A) Sidewalks shall be included within the dedicated non-pavement right-of-way on at least one side of all streets. This provision shall not apply to cul-de-sacs, except as a link to trails or other sidewalks as required by the Waseca City Council. A recommendation as to the location of sidewalks within areas to be platted shall be provided by the Community Development Director. These recommendations will be included in plans provided to the Waseca City Council with the preliminary plat.

(B) Classification width.

(1) Residential districts, five feet; and

~~(a) Residential non-collector and non-arterial (minor and major), four feet; and~~

~~(b) Residential collector and arterial (minor and major), five feet.~~

(2) Commercial districts, eight feet; and

(3) Industrial districts, five feet.

(C) Sidewalks shall slope ~~¼ inch per foot~~ 1.5% away from the property line (cross slope) and the ~~profile grade running slope~~ shall not exceed ~~5%~~ 8%.

(D) Sidewalks shall be a minimum of four-inch-thick concrete and placed on a four-inch gravel base.

(E) Sidewalks shall be placed in the public right-of-way ~~at the property line~~ or within a public sidewalk easement.

## 151.100 MINOR SUBDIVISIONS.

(E) If the City Planner is to grant administrative approval for a proposed minor subdivision, each of the provisions shown below must be met:

1. The proposed subdivision will not result in more than three lots.
2. Each lot shall have no fewer than four sides and no more than ~~five~~ eight sides.
3. All necessary utility and drainage easements are provided for.
4. The property to be divided will not require the dedication of public right-of-way for purposes of gaining access to the property.
5. The property has not been divided through the provisions of this section within the previous five years.
6. The subdivision meets all design standards as specified elsewhere in this chapter.

**SECTION 2.** This Ordinance shall take and be in force 10 days after its passage

ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_ 2021.

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R. D. SRP  
MAYOR

ATTEST:

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MIKE ANDERSON  
ASSISTANT TO THE CITY MANAGER

Introduced: September 14, 2021  
Adopted: September 21, 2021  
Published: September 29, 2021  
Effective: October 1, 2021

<b>Title:</b>	Ordinance No. 1098: An Ordinance of the Waseca City Council Amending Chapter 154 of the Code of Ordinances.		
<b>Meeting Date:</b>	September 21, 2021	<b>Agenda Item Number:</b>	<b>7A</b>
<b>Action:</b>	<input type="checkbox"/> MOTION <input type="checkbox"/> REQUESTS/PRESENTATIONS <input type="checkbox"/> RESOLUTION <input checked="" type="checkbox"/> ORDINANCE <input type="checkbox"/> DISCUSSION	<b>Supporting Documents:</b>	PC Memo Ordinance No. 1098
<b>Originating Department:</b>	Community Development	<b>Presented By:</b>	Bill Green
<b>Approved by City Manager:</b> <input checked="" type="checkbox"/>	<b>Proposed Action:</b> Motion to adopt Ordinance No. 1098, Amending Chapter 154 of the Waseca City Code of Ordinances		
<b>How does this item pertain to Vision 2030 goals?</b>	Good Governance		

**BACKGROUND:**

In January of 2016, the City adopted changes to the Code of Ordinances, Chapter 154: Zoning. In the last five years City Staff has identified items to be updated, as well as new code items to be added. These amendments have been selected and brought forth to provide clarity within the Ordinance, and to reduce the need for common variances.

The Planning Commission held a public hearing on the Text Amendment request on September 14, 2021. The Planning Commission voted 3-1 recommending approval on Ordinance 154.150 (B) (1); and 4-0 recommending approval on the remaining Ordinances, to the City Council.

Due to the length of the Text Amendment changes, a summary will be published in the newspaper, with the complete text available at Waseca City Hall, 508 State St S, Waseca MN.

**BUDGET IMPACT:** None

**POLICY QUESTION:** The City Council has the authority to approve Text Amendments.

**ALTERNATIVES CONSIDERED:** None.

**RECOMMENDATION:** Motion to adopt Ordinance No. 1098; Approving Text Amendments to Chapter 154 of the Waseca City Code of Ordinances.

## ORDINANCE NO. 1098

### AN ORDINANCE AMENDING CHAPTER 154: ZONING

**WHEREAS**, Chapter 154 of the Waseca Code of Ordinances provides zoning provisions;

**NOW, THEREFORE**, the City of Waseca does hereby ordain that the amendments to Chapter 154 of the Waseca Code of Ordinances as shown here-in are hereby approved and modified. The modification only amends the specified codes, the remainder of the Ordinance shall remain as previously adopted.

**SECTION 1.** Chapter 154: ZONING of the Waseca Code of Ordinances is hereby amended as follows, underlined text is being added and ~~strikeout~~ text is being deleted:

#### SECTION 154.029 PRINCIPAL AND ACCESSORY USES IN THE INDUSTRIAL DISTRICTS

Table 6-1: Summary of the Principal Permitted and Conditional Land Uses in the Industrial Districts.

P: Permitted C: Conditional --: Not allowed

Land Uses	Zoning Districts		Specific Development Requirements
	I-1	I-2	
Industrial Uses			
Alcohol distillation	--	C	
Animal veterinary clinics	P	P	
Beer brewing	P	P	State regulation
Bulk storage of liquid or grain	--	P	<del>§§ 154.109 – 154.143</del> §§ 154.109 – 154.144
Cellular telephone relay facilities	C	C	§§ 154.109 - 154.144
Construction trades shops	P	P	
Distillation of bone, coal, tar, petroleum, grain or wood alcohol	--	--	
Drugs and pharmaceutical manufacturing	C	P	
Fertilizer manufacturing, compost or storage	--	--	
Food manufacturing except meat and rendering	--	P	
Hazardous liquid storage	C	C	§§ 154.109 – <del>154.143</del> §§ 154.109 – 154.144
Laboratories	P	P	



Manufacturing, non-hazardous materials, products or emissions	P	P	
Manufacturing, potentially hazardous materials, products or emissions	--	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <u>154.144</u>
Manufacturing of products from stone, clay or concrete	--	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <u>154.144</u>
Manufacturing or bulk storage of explosives	--	--	
Offices	P	P	
Outdoor storage of materials or products	--	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <u>154.144</u>
Processing of garbage, offal, dead animals, refuse or rancid fats	--	--	
Recycling of residential, commercial or industrial wastes	--	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <u>154.144</u>
Vehicle salvage	--	--	
Warehousing and logistics	--	P	
Waste recycling facility	--	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <u>154.144</u>
Waste transfer facility	--	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <u>154.144</u>
Wholesale trade	P	P	
<i>Commercial Uses</i>			
Animal clinics	P	P	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <u>154.144</u>
Automobile renting and leasing	P	P	
Business services	P	P	
Communication stations and broadcasting	P	P	
Day care, commercial	C	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <u>154.144</u>
Electrical and electronic repair	P	P	
Fitness centers	C	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <u>154.144</u>
Industrial product sales	P	P	
Industrial services	P	P	
Kennel, commercial	P	P	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <u>154.144</u>

Laundry services and tailoring	P	P	
Plant nurseries, lawn and garden supply stores	P	P	
Restaurants	C	C	
Self-service storage with outdoor storage	--	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Self-service storage without outdoor storage	P	P	
Salvage yard	--	--	
Trade schools	P	P	
Vehicle repair, mechanical	P	P	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Vehicle repair, body	--	P	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Vehicle sales, new or used autos, light trucks, boats, motorcycles or all-terrain vehicles, <u>heavy trucks,</u> <u>recreational vehicles</u>	--	P	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Public and semi-public uses			
Essential services	P	P	
Public administration or utility buildings	P	P	
Public works yards and storage buildings	--	C	

### 154.053 PERFORMANCE STANDARDS.

(B) The following specific standards and setback requirements shall be followed in all shoreland districts.

(12) The lowest floor must be placed at least three feet above the highest known water level, or three feet above the ordinary high water level, whichever is higher, except as otherwise provided in this section.

(a) Water-oriented structures may have the lowest floor placed lower than the elevation specified herein if the structure is constructed of flood-resistant materials to the elevation, electrical and mechanical equipment is placed above the elevation, and if long duration flooding is anticipated, the structure is built to withstand ice action and wind-driven waves and debris.

(b) On lots in the Pondview of Waseca subdivision, the lowest floor must be placed at least one foot above the highest known water level of ~~4,129.38~~ 1131.183 feet. 1131.183 NGVD88

## **154.150 (B) (1): ACCESSORY BUILDINGS AND STRUCTURES, GENERALLY.**

(B) Residential districts.

~~-(1) Accessory structures 120 square feet or larger, including detached garages: Accessory Structures exceeding 200 square feet require a building permit and zoning review together with a site plan.~~

(a) The exterior materials and color of each accessory building exceeding 200 square feet shall be consistent with the principal building.

(b) Detached garages shall not cover more than 10% of the lot area.

(c) No accessory building shall have an access door more than 12 feet tall.

(d) All Accessory Structures 200 square feet or less require a zoning review with the provision of a site plan.

## **154.156 EROSION CONTROL AND STORMWATER MANAGEMENT.**

(B) *General requirements.*

(2) *Erosion and sedimentation control.*

(a) Every applicant for a building permit or subdivision approval to disturb 500 square feet of land or ~~120-200~~ square feet for a building must adhere to the soil erosion and sedimentation control standards and specifications in strict conformance to the provisions of this section and the city's engineering design standards for stormwater management.

## **154.150 ACCESSORY BUILDINGS AND STRUCTURES, GENERALLY.**

(B) Residential Districts

(5) *Increase in wall height.* The maximum side wall height for a detached garage in a residential district may be increased up to ~~20 feet~~ 12 feet, provided that the maximum building height provision is not exceeded, and that an additional setback of two feet is provided from side and rear lot lines for each additional foot of side wall height over nine feet. Side wall height is measured from the top of the concrete slab to the top of the top plate.

## **154.159 LANDSCAPING, SCREENING AND FENCES**

(L)

(4) Seasonal / Snow Fencing

(a) The allowed duration for putting up a seasonal or snow fence is between November 1 and March 31 of every year.

## **154.161 PARKING REQUIREMENTS, OFF-STREET.**

### **(K) *Design requirements.***

- (1) *Site plan.* All applications for site plan review shall depict, at a measurable scale, the location and arrangement of vehicle parking, curb cuts, driveways, and walkways. A Zoning permit and a site plan shall be submitted for secondary parking. Refer also to § [154.178](#), Site Plan Review, in the Application Reviews and Procedures chapter of this code.

## **154.162 PARKING IN RESIDENTIAL AREAS, SUPPLEMENTARY.**

The following parking regulations apply to the R-1, R-2, R-3 and R-4 zoning districts as well as to housing located in non-residential zoning districts. These regulations supplement the off-street parking requirements of § 154.161, Parking Requirements, Off-Street.

### **(A) General residential parking requirements.**

(1) Off street parking of any type of vehicle shall be provided in accordance with § 154.161 titled Parking Requirements, Off-Street.

(2) No more than four vehicles or one per licensed driver residing on the premises, whichever is more, may be parked or stored outside on the lot. For the purpose of this clause, a vehicle must be currently licensed and operable, have a capacity of nine or fewer passengers or be a truck not exceeding one ton capacity.

(3) Exterior secondary vehicle parking and storage shall be confined to surfaces paved with concrete, rock, asphalt, or pavers. All new or expanded parking shall meet this standard.

(4) All new construction, including garages, garage additions and parking or vehicle storage areas shall be served by an access drive made of concrete, asphalt, or pavers.

### (5) One-, two- or three-family residences:

(a) Parking areas and circulation drives shall be set back at least five feet from any side or rear lot line.

(b) Parking in the front yard shall not be located between the living space of the house and the street.

(c) Front yard parking beyond the width of the garage (that is, in the side yard) shall be set back from the front property line at least ten feet.

(B) Parking or storage of commercial-use vehicles, inoperable vehicles, unlicensed vehicles and vehicle parts.

(1) Inoperable vehicles, unlicensed vehicle or vehicle parts shall not be stored outdoors, whether on a lot or on a street, in a residential district.

(2) One commercial vehicle of Class 1, 2 or 3 may be parked or stored outside, whether on a lot or on a street, in a residential district. Class 1, 2 and 3 vehicles are defined by the U.S. Department of Transportation.

(C) Parking or storage of recreational vehicles, boats, trailers, all-terrain vehicles, snowmobiles and similar vehicles.

(1) Recreational vehicles, boats, all-terrain vehicles, snowmobiles, special purpose trailers or other vehicles designed or used for off-road purposes may be parked or stored in a garage or other building or may be parked or stored outdoors as follows:

(a) No more than two such vehicles, not more than one of which is a recreational vehicle, shall be parked or stored outdoors on each lot. Such lot must be occupied by a principal structure, and such parking or storage shall occur only on asphalt, concrete, rock, or pavers but not in a space that is designated as required parking for the principal use. A trailer with one or more vehicles on it shall be considered one vehicle.

(b) Any such vehicle shall not be parked or stored within 5 feet of a side or rear lot line. Vehicles may be parked within the required front setback provided vehicles are parked on an approved asphalt, concrete, rock, or pavers and shall not be within 10 feet of the front yard property line.

(c) Such vehicles shall not be parked between the living space of the house and the street.

(d) Recreational vehicles shall not be used as living or sleeping quarters for more than 14 days per year.

#### (D) Secondary Parking

(1) Secondary Parking areas shall be paved with rocks and the perimeter barrier of the parking area shall be made of a minimum 2x material (Nominal size) secured to the ground and a minimum height which shall be 2 inches higher than the finished rock height.

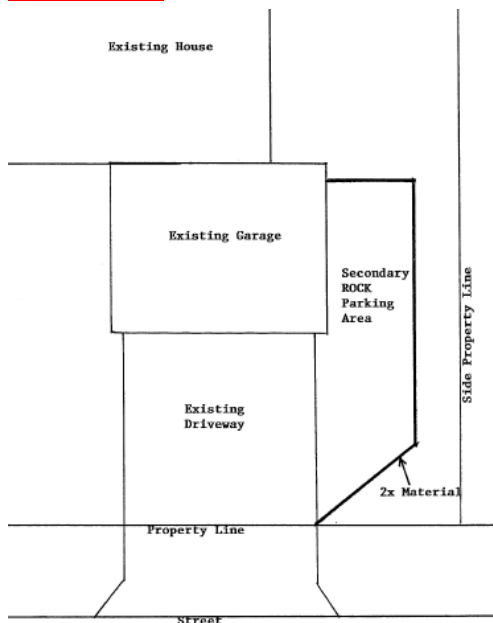
(2) The required minimum setbacks for secondary parking shall be the same as the setbacks for parking in each district, including General and Specific Development Requirements for this chapter.

(3) A Right-of-Way permit is required for any work proposed on the City Right-of-Way.

(4) A Zoning permit and a site plan shall be submitted for review for secondary parking.

(5) EXAMPLE: Frame the outline of the area with 2x3 landscape timbers to the desired height, anchored into the ground with re-rod, and fill the area with crushed rock. See Figure 15-2.

Figure 15-2:



**SECTION 2.** This Ordinance shall take and be in force 10 days after its passage

ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_ 2021.

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R. D. SRP  
MAYOR

ATTEST:

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MIKE ANDERSON  
ASSISTANT TO THE CITY MANAGER

Introduced: September 14, 2021  
Adopted: September 21, 2021  
Published: September 29, 2021  
Effective: October 1, 2021

# **PLANNING DEPARTMENT**

## **M E M O R A N D U M**

**TO:** Daren Arndt, Chair  
Waseca Planning Commission

**FROM:** Bill Green  
Planning and Zoning Coordinator

Felix Danso Asante  
Community Development Intern

**MEETING DATE:** September 14, 2021

**SUBJECT:** Public Hearing-Action No. 21-15 – Zoning Text Amendments

**ATTACHMENTS:** Existing zoning code sections to be amended

### **REQUEST**

Waseca Staff request that the Planning Commission consider the proposed Zoning Ordinance amendments. These amendments have been selected and brought forth to provide clarity within the Ordinance.

### **PROPOSED AMENDMENT #1**

#### **Section 150.04: ORGANIZATION**

(D) (1) Hereafter, no person shall construct, alter, wreck, or move any kind of structure or building or part thereof without first securing a building permit therefore; provided no permit shall be necessary for the construction, reconstruction, or alteration of a building where the building is less than ~~120~~ 200 square feet in size. In the shoreland overlay zoning district, a building permit shall be required for the construction or installation of any building or structure, regardless of size, for the installation of sewage treatment systems, and for those grading and filling activities not exempted by §§ 154.045 through 154.060. Application for a building permit shall be made to the Building Official or his or her designee on the forms provided by the city. The application shall include sufficient use and that, in cases where municipal sewer does not yet serve a site, a compliant sewage treatment system will be provided. Permits shall stipulate that any identified nonconforming sewage treatment system, as defined by § 154.058, shall be reconstructed or replaced in accordance with the provisions contained therein.

### **Reasoning:**

The State of Minnesota Building Code states that accessory structures exceeding 200 square feet require a permit.

## PROPOSED AMENDMENT #2

### 151: SUBDIVISIONS

#### 151.003 SCOPE.

- (A) This chapter governs plats and subdivision of lands subject to its provisions.
- (B) The City Council may, by resolution, cause this chapter to apply to a specified portion of the unincorporated area lying within two miles of the city borders, as provided for by M.S. § 462.358, as it may be amended from time to time.
- (C) (1) Any unplatted property shall be platted in accordance with the provisions and standards of this chapter before it is developed. For the purposes of this chapter, the term **DEVELOPED** is defined as any construction activity requiring the installation of public improvement, ~~or any construction activity requiring a building permit with the exception of permits for:~~
- ~~—(a) Decks;~~
  - ~~—(b) Driveways;~~
  - ~~—(c) Fences;~~
  - ~~—(d) Accessory structures, under 700 square feet;~~
  - ~~—(e) Residential additions, under 1,500 square feet; and~~
  - ~~—(f) Commercial and industrial expansions, under 10,000 square feet.~~
- (2) No expansion or addition to a structure that changes the use, or is intended to change the use of a property, shall be allowed.

#### Reasoning

Existing unplatted properties within the City are hindered from possible development and improvements by this restriction.

## PROPOSED AMENDMENT #3

### 151.047 SIDEWALKS.

- (A) Sidewalks shall be included within the dedicated non-pavement right-of-way on at least one side of all streets. This provision shall not apply to cul-de-sacs, except as a link to trails or other sidewalks as required by the Waseca City Council. A recommendation as to the location of sidewalks within areas to be platted shall be provided by the Community Development Director. These recommendations will be included in plans provided to the Waseca City Council with the preliminary plat.
- (B) Classification width.
- (1) Residential districts, five (5) feet; and
    - ~~(a) Residential non-collector and non-arterial (minor and major), four feet; and~~
    - ~~(b) Residential collector and arterial (minor and major), five feet.~~
  - (2) Commercial districts, eight feet; and
  - (3) Industrial districts, five feet.
- (C) Sidewalks shall slope ~~¼ inch per foot~~ 1.5% away from the property line (cross slope) and the ~~profile~~ grade running slope shall not exceed ~~5%~~ 8%.
- (D) Sidewalks shall be a minimum of four-inch-thick concrete and placed on a four-inch gravel base.
- (E) Sidewalks shall be placed in the public right-of-way ~~at the property line~~ or within a public sidewalk easement.

#### Reasoning:

City Staff is recommending these changes to meet ADA requirements.



## PROPOSED AMENDMENT #4

### 151.100 MINOR SUBDIVISIONS.

(E) If the City Planner is to grant administrative approval for a proposed minor subdivision, each of the provisions shown below must be met:

1. The proposed subdivision will not result in more than three lots.
2. Each lot shall have no fewer than four sides and no more than ~~five~~ eight (8) sides.
3. All necessary utility and drainage easements are provided for.
4. The property to be divided will not require the dedication of public right-of-way for purposes of gaining access to the property.
5. The property has not been divided through the provisions of this section within the previous five years.
6. The subdivision meets all design standards as specified elsewhere in this chapter.

### Reasoning

Half of the minor subdivision applications from 2017 to 2021 have required variances with respect to the number of sides of the lot. Exceeding the allowed number of five (5) sides with 6, 7, or 8 sides typically.

## PROPOSED AMENDMENT #5

SECTION 154.029 (H) Table 6-1: Summary of the Principal Permitted and Conditional Land Uses in the Industrial Districts.

**P: Permitted C: Conditional --: Not allowed**

Land Uses	Zoning Districts		Specific Development Requirements
	I-1	I-2	
Industrial Uses			
Alcohol distillation	--	C	
Animal veterinary clinics	P	P	
Beer brewing	P	P	State regulation
Bulk storage of liquid or grain	--	P	<del>§§ 154.109 — 154.143</del> <del>§§ 154.109 – 154.144</del>
Cellular telephone relay facilities	C	C	§§ 154.109 - 154.144
Construction trades shops	P	P	
Distillation of bone, coal, tar, petroleum, grain or wood alcohol	--	--	
Drugs and pharmaceutical manufacturing	C	P	
Fertilizer manufacturing, compost or storage	--	--	

Food manufacturing except meat and rendering	--	P	
Hazardous liquid storage	C	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Laboratories	P	P	
Manufacturing, non-hazardous materials, products or emissions	P	P	
Manufacturing, potentially hazardous materials, products or emissions	--	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Manufacturing of products from stone, clay or concrete	--	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Manufacturing or bulk storage of explosives	--	--	
Offices	P	P	
Outdoor storage of materials or products	--	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Processing of garbage, offal, dead animals, refuse or rancid fats	--	--	
Recycling of residential, commercial or industrial wastes	--	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Vehicle salvage	--	--	
Warehousing and logistics	--	P	
Waste recycling facility	--	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Waste transfer facility	--	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Wholesale trade	P	P	
<b><i>Commercial Uses</i></b>			
Animal clinics	P	P	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Automobile renting and leasing	P	P	
Business services	P	P	
Communication stations and broadcasting	P	P	
Day care, commercial	C	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Electrical and electronic repair	P	P	
Fitness centers	C	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>

Industrial product sales	P	P	
Industrial services	P	P	
Kennel, commercial	P	P	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Laundry services and tailoring	P	P	
Plant nurseries, lawn and garden supply stores	P	P	
Restaurants	C	C	
Self-service storage with outdoor storage	--	C	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Self-service storage without outdoor storage	P	P	
Salvage yard	--	--	
Trade schools	P	P	
Vehicle repair, mechanical	P	P	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Vehicle repair, body	--	P	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Vehicle sales, new or used autos, light trucks, boats, motorcycles or all-terrain vehicles, <u>heavy trucks,</u> <u>recreational vehicles</u>	--	P	§§ <u>154.109</u> – <del>154.143</del> §§ <u>154.109</u> – <del>154.144</del>
Public and semi-public uses			
Essential services	P	P	
Public administration or utility buildings	P	P	
Public works yards and storage buildings	--	C	

**Reasoning:** City staff would like to add the Conditional Use of Cellular telephone relay facilities to the Principal Land Uses in the Industrial districts to allow for the development of industrial properties. Add sales of heavy truck and recreational vehicles to a permitted use in I-2. Also, correcting typographical errors.

## PROPOSED AMENDMENT #6

### 154.053 PERFORMANCE STANDARDS.

(B) The following specific standards and setback requirements shall be followed in all shoreland districts.

(12) The lowest floor must be placed at least three feet above the highest known water level, or three feet above the ordinary high water level, whichever is higher, except as otherwise provided in this section.

(a) Water-oriented structures may have the lowest floor placed lower than the elevation specified herein if the structure is constructed of flood-resistant materials to the elevation, electrical and mechanical equipment is placed above the elevation, and if long duration flooding is anticipated, the structure is built to withstand ice action and wind-driven waves and debris.

(b) On lots in the Pondview of Waseca subdivision, the lowest floor must be placed at least one foot above the highest known water level of ~~4,129.38~~ 1131.183 feet. 1131.183 NGVD88

#### Reasoning:

The Minnesota Department of natural Resources has updated the Highest Know Water Level for Gaiter Lake from the 2015 event.

## PROPOSED AMENDMENT #7

### Section 154.150 (B) (1): ACCESSORY BUILDINGS AND STRUCTURES, GENERALLY.

(B) Residential districts.

~~(1) Accessory structures 120 square feet or larger, including detached garages: Accessory Structures exceeding 200 square feet require a building permit and zoning review together with a site plan.~~

(a) The exterior materials and color of each accessory building exceeding 200 square feet shall be consistent with the principal building.

(b) Detached garages shall not cover more than 10% of the lot area.

(c) No accessory building shall have an access door more than 12 feet tall.

(d) All Accessory Structures 200 square feet or less require a zoning review with the provision of a site plan.

#### Reasoning:

The State of Minnesota Building Code states that accessory structures exceeding 200 square feet require a permit. Following are the detached accessory structure size for a permit in cities around the City of Waseca:

Cities	Shed size for a permit in sq. ft.	Color & materials of shed
City of Owatonna	Sheds larger than 200 sq. ft	No specification on shed matching house
City of Faribault	Exceeding 200 sq. ft	For accessory structures that require a permit, materials and colors should closely match that of the principal structure.
City of Mankato	Exceeding 200 sq. ft	Not specified
City of Albert Lea	Exceeding 200 sq. ft	Not specified
City of Lakeville	Exceeding 200 sq. ft	Not specified

## **PROPOSED AMENDMENT #7.1**

### **154.156 EROSION CONTROL AND STORMWATER MANAGEMENT.**

(B) *General requirements.*

(2) *Erosion and sedimentation control.*

(a) Every applicant for a building permit or subdivision approval to disturb 500 square feet of land or ~~120-200~~ square feet for a building must adhere to the soil erosion and sedimentation control standards and specifications in strict conformance to the provisions of this section and the city's engineering design standards for stormwater management.

## **PROPOSED AMENDMENT #8**

### **§ 154.150 ACCESSORY BUILDINGS AND STRUCTURES, GENERALLY.**

(B) Residential Districts

(5) *Increase in wall height.* The maximum side wall height for a detached garage in a residential district may be increased up to ~~20 feet~~ **12 feet**, provided that the maximum building height provision is not exceeded, and that an additional setback of two feet is provided from side and rear lot lines for each additional foot of side wall height over nine feet. Side wall height is measured from the top of the concrete slab to the top of the top plate.

#### **Reasoning:**

Typographical error.

## **PROPOSED AMENDMENT #9**

### **154.159 LANDSCAPING, SCREENING AND FENCES**

(L)

(4) Seasonal / Snow Fencing

(a) The allowed duration for putting up a seasonal or snow fence is between November 1 and March 31 of every year.

#### **Reasoning**

Currently, the City of Waseca Ordinance does not currently address seasonal snow fencing.

## PROPOSED AMENDMENT #10

### § 154.161 PARKING REQUIREMENTS, OFF-STREET.

#### (K) *Design requirements.*

- (1) *Site plan.* All applications for site plan review shall depict, at a measurable scale, the location and arrangement of vehicle parking, curb cuts, driveways, and walkways. A Zoning permit and a site plan shall be submitted for secondary parking. Refer also to § 154.178, Site Plan Review, in the Application Reviews and Procedures chapter of this code.

#### **Reasoning:**

Hard Surfaces such as concrete, asphalt, and pavers can be cost prohibitive to the residents. However, the ability to use rock give residents the opportunity to park in areas not on grass and using rock reduces cost.

## PROPOSED AMENDMENT #11

### § 154.162 PARKING IN RESIDENTIAL AREAS, SUPPLEMENTARY.

The following parking regulations apply to the R-1, R-2, R-3 and R-4 zoning districts as well as to housing located in non-residential zoning districts. These regulations supplement the off-street parking requirements of § 154.161, Parking Requirements, Off-Street.

#### (A) General residential parking requirements.

- (1) Off street parking of any type of vehicle shall be provided in accordance with § 154.161 titled Parking Requirements, Off-Street.
- (2) No more than four vehicles or one per licensed driver residing on the premises, whichever is more, may be parked or stored outside on the lot. For the purpose of this clause, a vehicle must be currently licensed and operable, have a capacity of nine or fewer passengers or be a truck not exceeding one ton capacity.
- (3) Exterior secondary vehicle parking and storage shall be confined to surfaces paved with concrete, rock, asphalt, or pavers. All new or expanded parking shall meet this standard.
- (4) All new construction, including garages, garage additions and parking or vehicle storage areas shall be served by an access drive made of concrete, asphalt, or pavers.
- (5) One-, two- or three-family residences:
  - (a) Parking areas and circulation drives shall be set back at least five feet from any side or rear lot line.
  - (b) Parking in the front yard shall not be located between the living space of the house and the street.
  - (c) Front yard parking beyond the width of the garage (that is, in the side yard) shall be set back from the front property line at least ten feet.

#### (B) Parking or storage of commercial-use vehicles, inoperable vehicles, unlicensed vehicles and vehicle parts.

- (1) Inoperable vehicles, unlicensed vehicle or vehicle parts shall not be stored outdoors, whether on a lot or on a street, in a residential district.
- (2) One commercial vehicle of Class 1, 2 or 3 may be parked or stored outside, whether on a lot or on a street, in a residential district. Class 1, 2 and 3 vehicles are defined by the U.S. Department of Transportation.

#### (C) Parking or storage of recreational vehicles, boats, trailers, all-terrain vehicles, snowmobiles and similar vehicles.

(1) Recreational vehicles, boats, all-terrain vehicles, snowmobiles, special purpose trailers or other vehicles designed or used for off-road purposes may be parked or stored in a garage or other building or may be parked or stored outdoors as follows:

(a) No more than two such vehicles, not more than one of which is a recreational vehicle, shall be parked or stored outdoors on each lot. Such lot must be occupied by a principal structure, and such parking or storage shall occur only on asphalt, concrete, rock, or pavers but not in a space that is designated as required parking for the principal use. A trailer with one or more vehicles on it shall be considered one vehicle.

(b) Any such vehicle shall not be parked or stored within 5 feet of a side or rear lot line. Vehicles may be parked within the required front setback provided vehicles are parked on an approved asphalt, concrete, rock, or pavers and shall not be within 10 feet of the front yard property line.

(c) Such vehicles shall not be parked between the living space of the house and the street.

(d) Recreational vehicles shall not be used as living or sleeping quarters for more than 14 days per year.

#### (D) Secondary Parking

(1) Secondary Parking areas shall be paved with rocks and the perimeter barrier of the parking area shall be made of a minimum 2x material (Nominal size) secured to the ground and a minimum height which shall be 2 inches higher than the finished rock height.

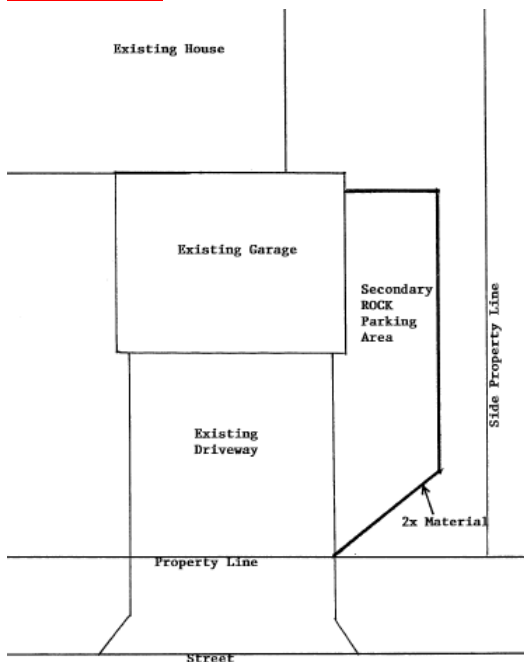
(2) The required minimum setbacks for secondary parking shall be the same as the setbacks for parking in each district, including General and Specific Development Requirements for this chapter.

(3) A Right-of-Way permit is required for any work proposed on the City Right-of-Way.

(4) A Zoning permit and a site plan shall be submitted for review for secondary parking.

(5) EXAMPLE: Frame the outline of the area with 2x3 landscape timbers to the desired hieght, anchored into the ground with re-rod, and fill the area with crushed rock. See Figure 15-2.

Figure 15-2:



<b>Title:</b>	ADOPTING THE CITY AND ECONOMIC DEVELOPMENT AUTHORITY PRELIMINARY TAX LEVY COLLECTIBLE IN 2022 AND 2022 PROPOSED BUDGET		
<b>Meeting Date:</b>	September 21, 2021	<b>Agenda Item Number:</b>	<b>7B-C</b>
<b>Action:</b>	<input type="checkbox"/> MOTION <input checked="" type="checkbox"/> REQUESTS/PRESENTATIONS <input checked="" type="checkbox"/> RESOLUTION <input type="checkbox"/> ORDINANCE <input type="checkbox"/> DISCUSSION	<b>Supporting Documents:</b>	Resolution 21-44 Adopting Preliminary Tax Levy & Budget  Resolution 21-45 Adopting Preliminary EDA Levy
<b>Originating Department:</b>	Finance	<b>Presented By:</b>	City Manager
<b>Approved By City Manager:</b> <input checked="" type="checkbox"/>	<b>Proposed Action:</b> 1) Adopt Resolution 21-44: Approving the City Preliminary Tax Levy Collectible in 2022 and Proposed 2022 General Fund Budget 2) Adopt Resolution 21-45: Approving the Preliminary City of Waseca Economic Development Authority Tax Levy Collectible in 2022		
<b>How does this item pertain to Vision 2030 goals?</b>	Good Governance and Expanding and Leverage Economic Development Initiative		

**BACKGROUND:** Following Council direction from the most recent September 7<sup>th</sup> work session, staff is presenting a resolution to set the 2022 preliminary tax levy. The resolution includes the total preliminary levy for the City of \$5,244,353. This option includes a 4.3% increase in the tax levy amount requested.

The City of Waseca Economic Development Authority (EDA) has met and reviewed their preliminary 2022 budget. Based on the projected expenditure and future growth needs in the budget, the EDA requests the 2022 preliminary tax levy in the amount of \$92,604. Under state statute the EDA's maximum allowable levy is 0.01813% of the City's total taxable market value.

The final levy, which is scheduled to be adopted by City Council on December 21, 2021, cannot be higher than the preliminary levy, but it can be lower.

#### **BUDGET IMPACT:**

The Preliminary 2022 General Fund budget includes the following:

- Funding for salary adjustments from the Classification and Compensation Study findings. Wage adjustments of 2.5% for employees effective January 1, 2022.
- Funding for projected workers compensation, general/property liability, and health insurance increases.
- Decrease in cable franchise revenues due to viewers moving to subscription-based tv
- Vision 2030 funding decrease
- Contracted Snow Removal Decrease
- Cleaning Services Increased



- Decreased Transfers out
  - PFA Debt Levy for Sewer is budgeted directly to the Sewer Fund

**RECOMMENDATION:**

- 1) Adopt Resolution 21-44: Approving the City Preliminary Tax Levy Collectible in 2022 and Proposed 2022 General Fund Budget
- 2) Adopt Resolution 21-45: Approving the Preliminary City of Waseca Economic Development Authority Tax Levy Collectible in 2022

**RESOLUTION NO. 21-44**  
**A RESOLUTION OF THE WASECA CITY COUNCIL**  
**APPROVING THE CITY PRELIMINARY TAX LEVY**  
**COLLECTIBLE IN 2022 AND PROPOSED 2022 BUDGET**

**WHEREAS**, the City of Waseca, State of Minnesota, requires Property Tax to provide needed and necessary services to the citizens of the City of Waseca; and

**WHEREAS**, State law requires adoption of a proposed 2022 proposed budget and preliminary tax levy by September 30, 2021.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Waseca, Waseca County, Minnesota, that the following sums of money are proposed to be levied for the current year, collectible in 2022 upon the taxable property in said City of Waseca for the following purposes:

**Distributed Based on Tax Capacity**

General Fund	\$ 3,012,794
Tax Abatement	77,810
Capital Funding	<u>1,484,907</u>
General Levy Total	\$ 4,575,511
<u>Debt Service Levy</u>	
Wastewater Public Facilities	
Authority (PFA) loan	181,267
7 <sup>th</sup> Avenue Bonds	155,300
Public Safety Building Bonds	150,800
Northeast Park	74,075

**Distributed Based on Market Value (Passed Through Referendum)**

Water Park	107,400
Total City Levy	<b><u>\$ 5,244,353</u></b>

**BE IT FURTHER RESOLVED** by the City Council of the City of Waseca, Waseca County, Minnesota, that the 2022 proposed General Fund Budget of \$8,241,013 be approved.

**BE IT FURTHER RESOLVED** that the Records Secretary is hereby instructed to transmit a certified copy of this resolution to the County Auditor of Waseca County, Minnesota, as required by law.

Adopted this 21<sup>st</sup> day of September, 2021.

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R.D. SRP  
MAYOR

ATTEST:

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MIKE ANDERSON  
ASSISTANT TO THE CITY MANAGER

**RESOLUTION NO. 21-45**

**A RESOLUTION OF THE WASECA CITY COUNCIL  
APPROVING THE PRELIMINARY CITY OF WASECA  
ECONOMIC DEVELOPMENT AUTHORITY TAX LEVY  
COLLECTIBLE IN 2022**

**WHEREAS**, the City of Waseca Economic Development Authority, State of Minnesota, requires Property Tax to provide needed and necessary services to the citizens of the City of Waseca; and

**WHEREAS**, State law requires adoption of a proposed 2022 preliminary Economic Development Authority tax levy by September 30, 2021.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Waseca, Waseca County, Minnesota, that the following sum of money is proposed to be levied for the current year, collectible in 2022 upon the taxable property in said City of Waseca for the following purposes:

<b>Economic Development Authority Levy</b>	<b><u>\$ 92,604</u></b>
--	-------------------------

**BE IT FURTHER RESOLVED** that the City Clerk is hereby instructed to transmit a certified copy of this resolution to the County Auditor of Waseca County, Minnesota, as required by law.

Adopted this 21<sup>st</sup> day of September, 2021.

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R. D. SRP  
MAYOR

ATTEST:

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MIKE ANDERSON  
ASSISTANT TO THE CITY MANAGER

<b>Title:</b>	Ordinance No. 1093: Annexing property owned by the City of Waseca into City limits.		
<b>Meeting Date:</b>	September 21, 2021	<b>Agenda Item Number:</b>	<b>7D</b>
<b>Action:</b>	<input type="checkbox"/> MOTION <input type="checkbox"/> REQUESTS/PRESENTATIONS <input type="checkbox"/> RESOLUTION <input checked="" type="checkbox"/> ORDINANCE <input type="checkbox"/> DISCUSSION	<b>Supporting Documents:</b>	Ordinance No. 1093
<b>Originating Department:</b>	Administration	<b>Presented By:</b>	City Manager
<b>Approved By City Manager:</b> <input checked="" type="checkbox"/>	<b>Proposed Action:</b> City Council to adopt Ordinance No. 1093: Annexing City owned property into City limits.		
<b>How does this item pertain to Vision 2030 goals?</b>	High Quality Community Assets		

**BACKGROUND:** The City of Waseca owns 2.08 Acres of land in the Southeast part of town that currently is not within City Limits. The territory to be annexed lies within Woodville Township in the Waseca County. The property abuts the limits of the City of Waseca, and it is not included with any other municipality. The property is vacant and upon annexation, it will automatically be zoned R-1, Suburban Residential District.

The MN Statute 414.033. Subdivision 2, Clause 1 indicates that the City can annex the property by ordinance since the City of Waseca owns the property. As a result, no public hearing will be held for this process.

**BUDGET IMPACT:** None

**POLICY QUESTION:** The City Council has the authority to approve annexations.

**ALTERNATIVES CONSIDERED:** None.

**RECOMMENDATION:** Staff is recommending the City Council to adopt Ordinance No. 1093: Annexing City owned property into City limits.

**ORDINANCE NO. 1093**

**AN ORDINANCE ANNEXING CERTAIN LANDS FROM WOODVILLE TOWNSHIP  
INTO THE CITY  
OF WASECA, MINNESOTA  
AND ESTABLISHING ZONING THEREOF**

**WHEREAS**, the City of Waseca, is the owner of the property, incorporated herein by this reference (the Property); and

**WHEREAS**, The Property is described in Exhibit A and depicted in Exhibit B attached hereto and incorporated herein by this reference; and

**WHEREAS**, the Waseca City Council finds that the Property abuts the limits of the City of Waseca; the Property is owned by the City of Waseca; and the Property is not included with any other municipality.

**NOW, THEREFORE**, The City Council of Waseca, Minnesota does hereby determine, find and ordain:

- Section 1. That the Property abuts the City of Waseca and consists of 2.08 acres.
- Section 2. That the Property is owned by the City of Waseca.
- Section 3. The corporate limits of the City of Waseca area extended to include the Property.
- Section 4. Certified copies of this Ordinance shall be filed with Municipal Boundary Adjustments Office, and the Clerk of the Woodville Township Board.
- Section 5. This Ordinance shall be effective: upon passage and legal publication and the filing of the certified copies and, upon approval of the Ordinance by the Municipal Boundary Adjustments Office.
- Section 6. By the City of Waseca ordinance, upon annexation this parcel will automatically be zoned R-1, Suburban Residential District.
- Section 7. The Waseca Zoning Map shall be amended as shown in the attached EXHIBIT C.

Adopted by the City Council of Waseca, Minnesota, this 21<sup>st</sup> day of September 2021.

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R. D. SRP  
MAYOR

ATTEST:

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MIKE ANDERSON  
ASSISTANT TO THE CITY MANAGER

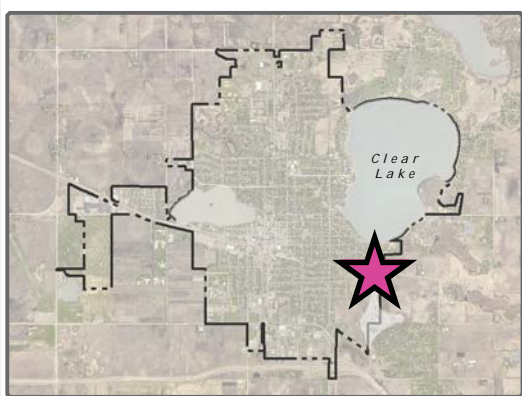
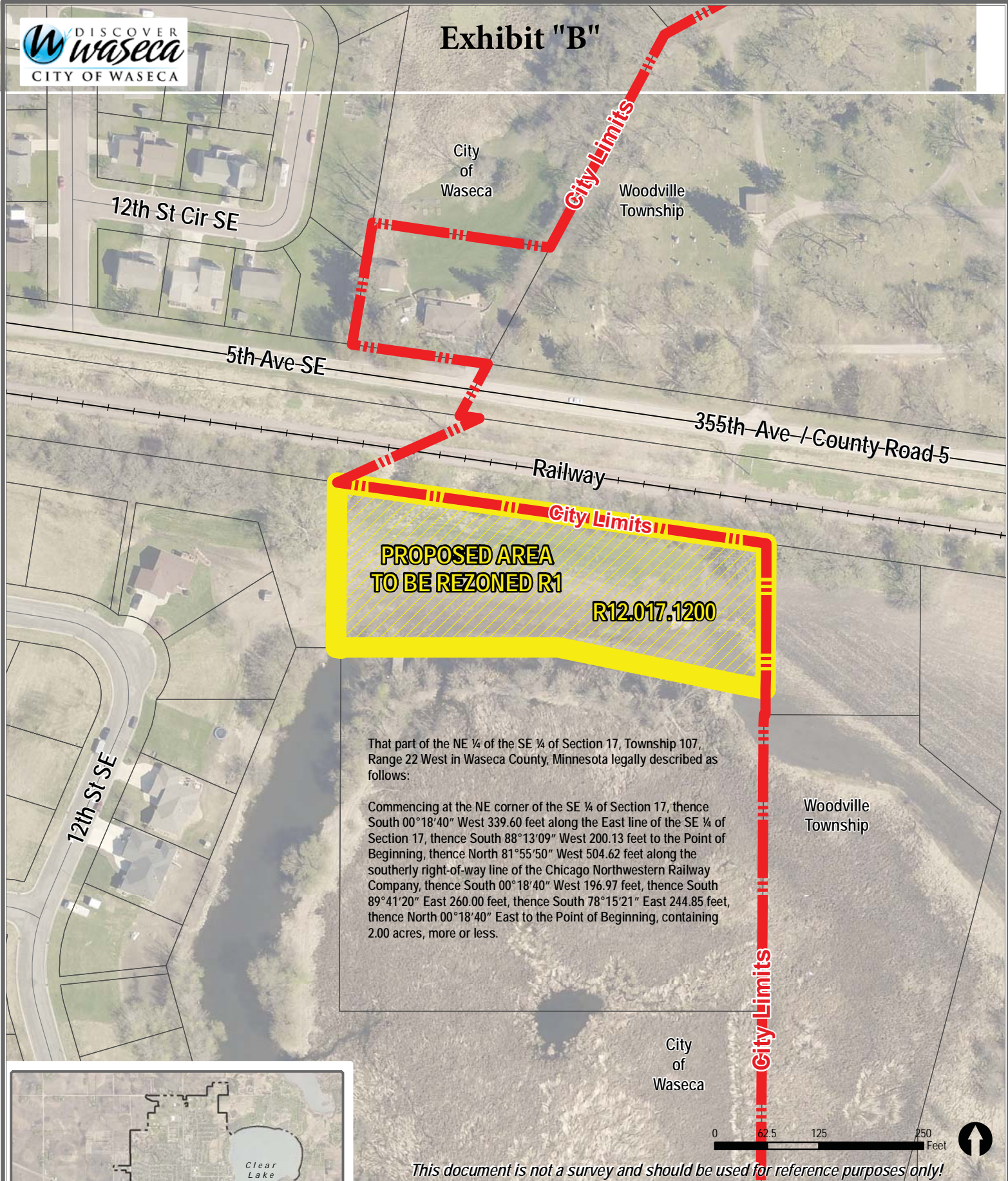
Introduced: 7/16/21  
Adopted: 9/21/21  
Published: 9/29/21  
Effective: 10/2/21

## EXHIBIT "A"

Beginning at a point on the south line of the right-of-way of the Chicago Northwestern Railway Company Three Hundred Thirty-Nine and Six Tenths (339.6) feet South of the East Quarter (E $\frac{1}{4}$ ) corner and Two Hundred (200) feet West of the East line of the Northeast Quarter (NE $\frac{1}{4}$ ) of the Southeast Quarter (SE $\frac{1}{4}$ ) of Section Seventeen (17), Township One Hundred Seven (107), Range Twenty-Two (22); thence running South on a line parallel to the East line of said Section Seventeen (17) a distance of Five Hundred Seventy and Eighty-Four Hundredths (570.84) feet; thence running West at a Ninety Degree (90°) angle Five Hundred (500) feet; thence running North on a line parallel to the East line of said Section (17) a distance of Six Hundred Sixty-Four and Eighty-Four Hundredths (664.84) feet to the South line of the right-of-way of The Chicago Northwestern Railway Company; thence in a Southeasterly direction along the South line of the said right-of-way a distance of Five Hundred Five and Seventy-Five Hundredths (505.75) feet to the point of beginning and containing Seven (7) acres. TOGETHER with all right, title and interest the grantors have in, to and from the land hereinbefore described over and along a cartway Fifteen (15) feet wide and described as follows, to-wit: Beginning at a point in the Northeast Quarter (NE $\frac{1}{4}$ ) of the Southeast Quarter (SE $\frac{1}{4}$ ) of Section Seventeen (17), Township One Hundred Seven (107), Range Twenty-Two (22), Three Hundred Forty-One and Eighty-Eight Hundredths (341.88) feet South of the East Quarter (E $\frac{1}{4}$ ) corner and One Hundred Eighty-Five (185) feet West of the East line of said Section, thence South Five Hundred Sixty-Nine and Fifty-Six Hundredths (569.56) feet on a line parallel to the East line of said Section; thence West at a Ninety Degree (90°) angle Fifteen (15) feet; thence North Five Hundred Seventy-One and Eighty-Four Hundredths (571.84) feet on a line parallel to the East line of said section; thence Southeast along the South side of the right-of-way of the Chicago Northwestern Railway Company Fifteen and Seventeen Hundredths (15.17) feet to the point of beginning, EXCEPTING THEREFROM: Beginning at a point Five Hundred Forty-Nine (549) feet South and Two Hundred (200) feet West of the Northeast corner of The Southeast Quarter (SE $\frac{1}{4}$ ) of Section Seventeen (17), Township One Hundred Seven (107) North, Range Twenty-Two (22) West, thence South parallel to the East line of said Southeast Quarter (SE $\frac{1}{4}$ ) a distance of Three Hundred Sixty-One and Forty-Four Hundredths (361.44) feet; thence West Five Hundred (500) feet; thence North on a line parallel to the East line of said Southeast Quarter (SE $\frac{1}{4}$ ) a distance of Four Hundred Forty (440) feet; thence East Two Hundred Sixty (260) feet; thence deflecting Eleven Degrees Twenty-Six Minutes (11°26') right a distance of Two Hundred Forty-Four and Eighty-Five Hundredths (244.85) feet; thence South parallel to the East line of said Southeast Quarter (SE $\frac{1}{4}$ ) a distance of Thirty (30) feet to the point of beginning; containing Four and Ninety-Two Hundredths (4.92) acres, more or less.



## Exhibit "B"



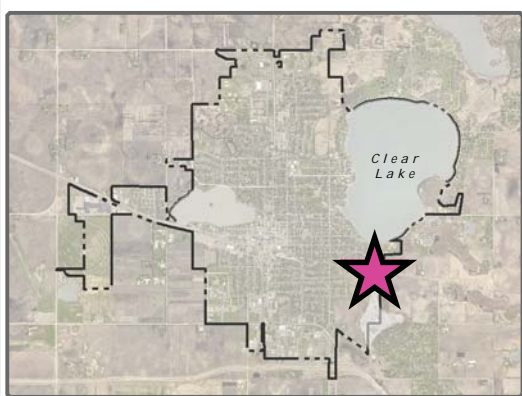
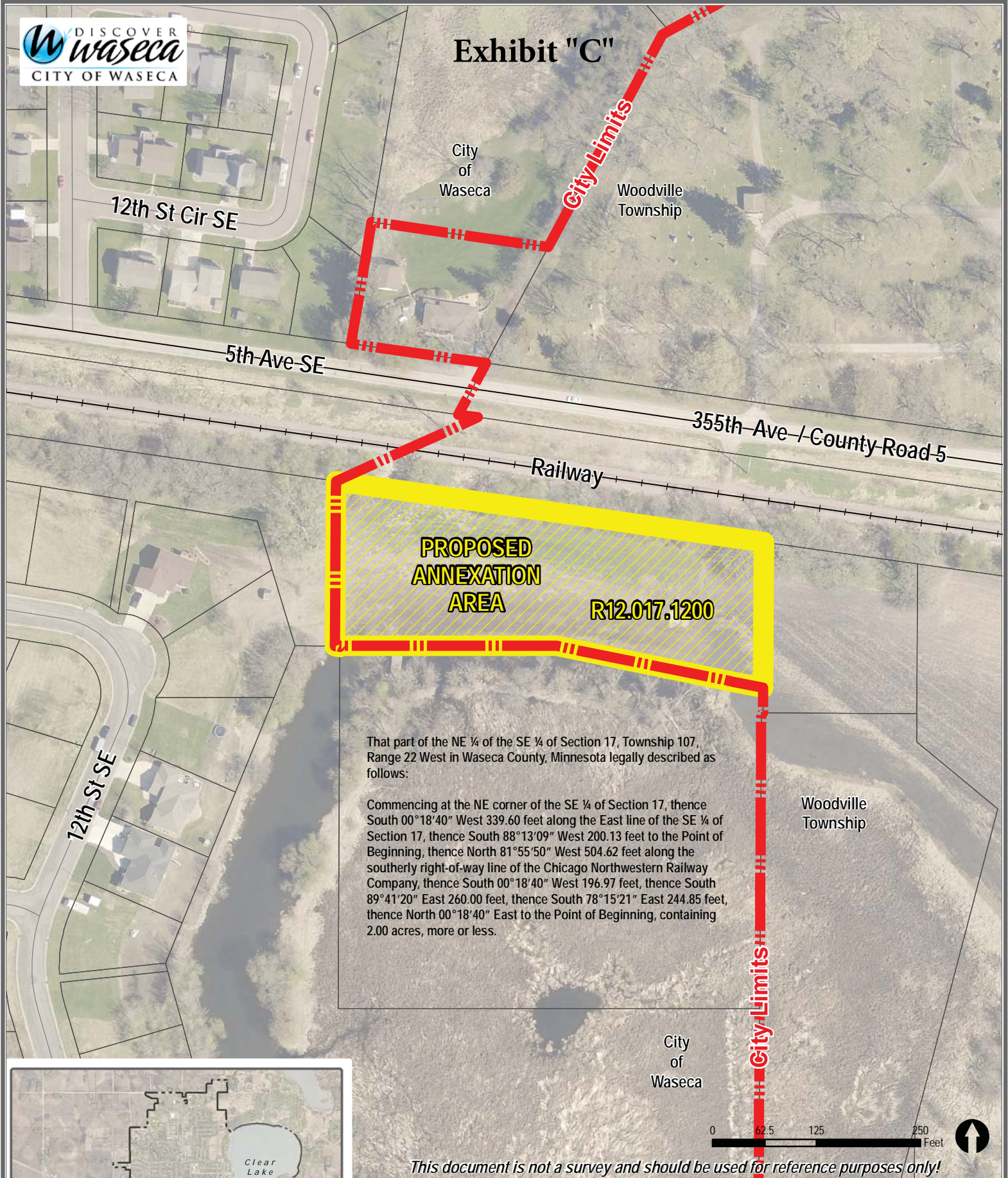
## REZONING SITE MAP

Owner: City of Waseca  
Parcel: R12.017.1200

YELLOW OUTLINED AREA  
TO BE REZONED TO R1 -  
SUBURBAN RESIDENTIAL  
DISTRICT



## Exhibit "C"



### ANNEXATION SITE MAP

Owner: City of Waseca  
Parcel: R12.017.1200

ANNEXATION REQUEST  
BETWEEN  
CITY OF WASECA  
AND  
WOODVILLE TOWNSHIP